

RECORD DRAWING LEGEND

42.00	PROPOSED/DESIGN ELEVATION OR DIMENSION LINED THROUGH.
42.07	"RECORD" ELEVATION OR DIMENSION WRITTEN IN.
X 54.8	INDICATES RECORD ELEVATION
✓	INDICATES "RECORD" ELEVATION, DIMENSION, SLOPE, et cetera.
707	INDICATES "RECORD" ITEM NUMBER
87.000	INDICATES "RECORD" ITEM DESCRIPTION

RECORD DATA PROVIDED BY
GEOPOINT SURVEYING, INC.

SERENOA

VILLAGES 1 & 2 - PHASE 1A-1 & 1A-2

SJRWMD RECORD

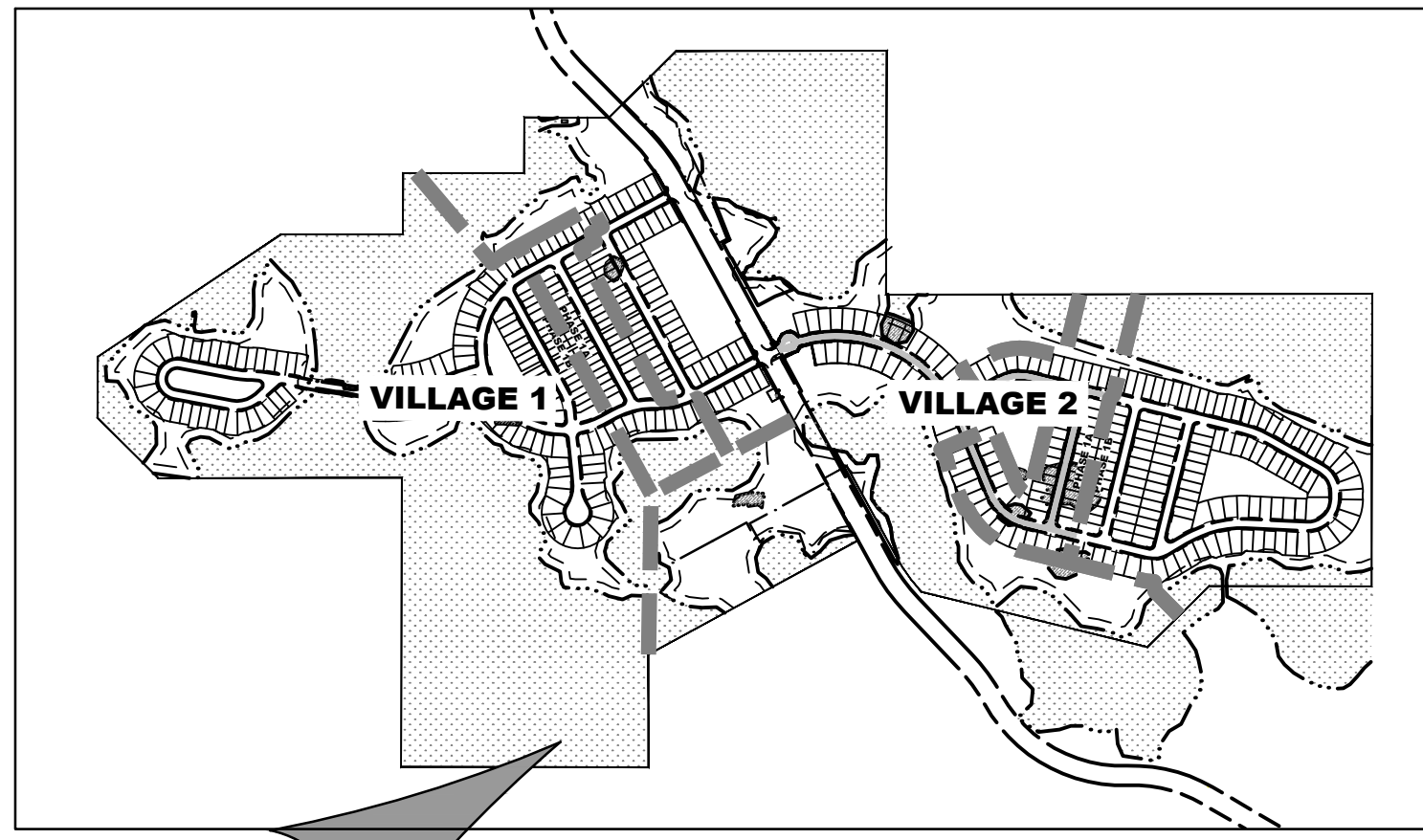
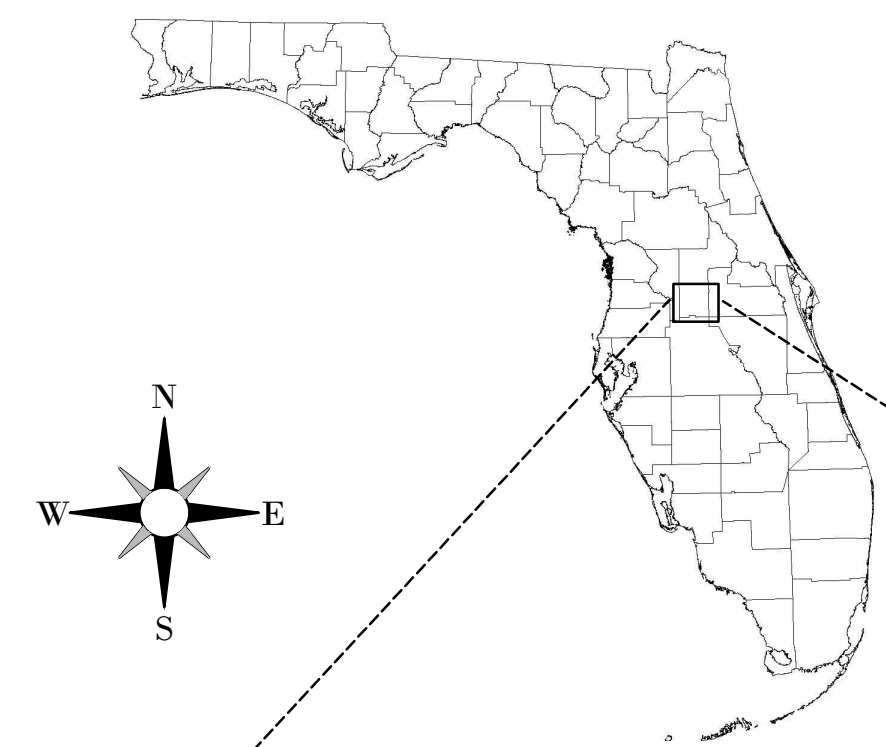
CONSTRUCTION PLAN

SECTIONS 13, 14, 23, & 24 TOWNSHIP 24 SOUTH, RANGE 26 EAST
LAKE COUNTY, FLORIDA

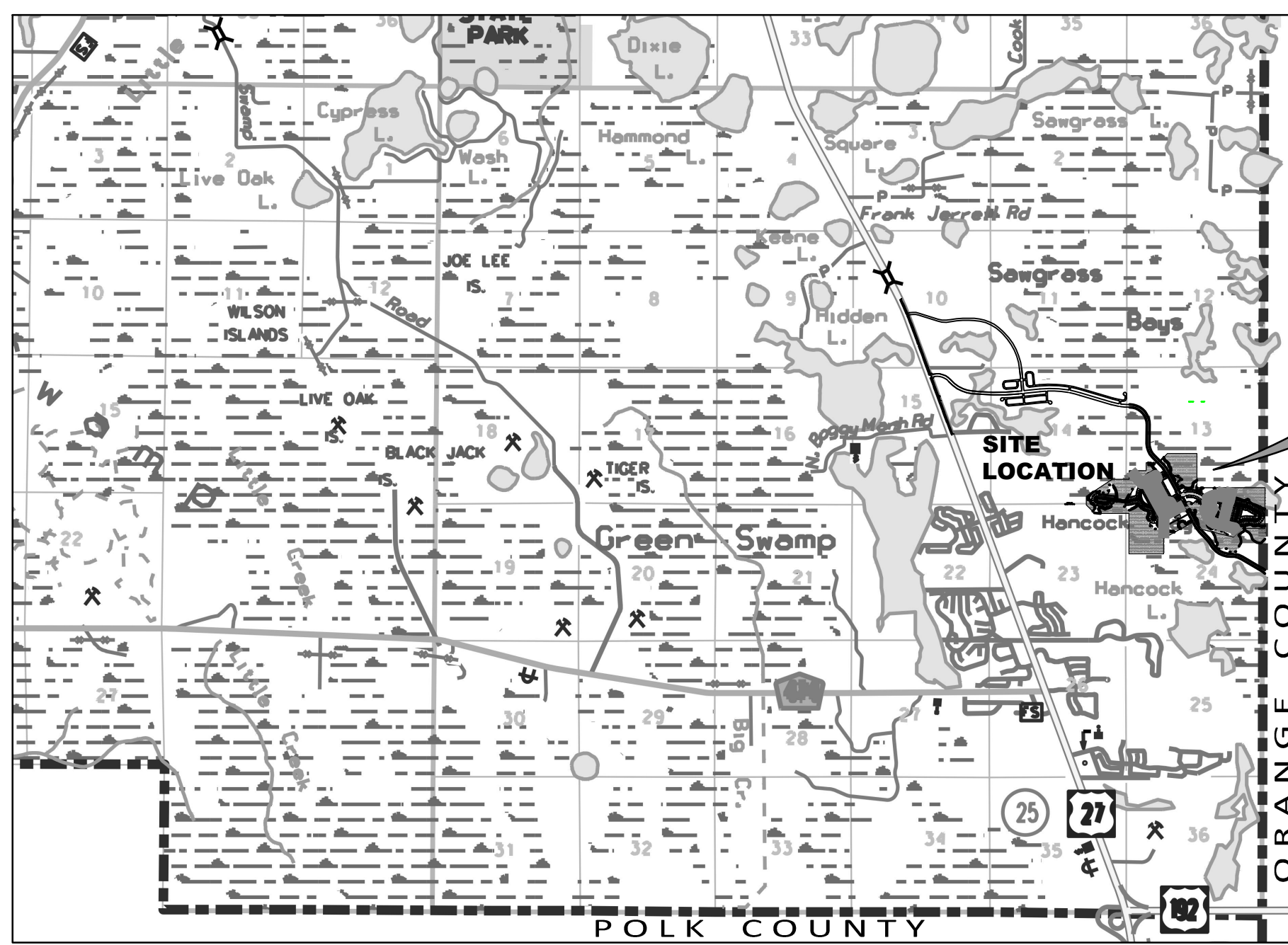
SERENOA VILLAGES 1 & 2
1A-1 & 1A-2
"RECORD DRAWINGS"

FACILITIES SHOWN HEREON HAVE BEEN, TO THE BEST OF MY KNOWLEDGE, CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH APPROVED PLANS. SPECIFICATIONS AND MODIFICATIONS FOR THIS PROJECT. VERIFICATION IS BASED ON PERIODIC CONSTRUCTION OBSERVATION AND SURVEY NOTATIONS SHOWN ON PLANS. SURVEYED DIMENSIONS AND ELEVATIONS SHOWN AS RECORD INFORMATION HAVE BEEN FIELD VERIFIED.

LAST DATE OF FIELD SURVEY: 02/20/2018



SITE MAP (1"=1,000')



LOCATION MAP (1"=2,000')



Prepared For:
VK AVALON GROVES, LLC
14025 RIVEREDGE DRIVE SUITE 175
TAMPA, FL 33637
Phone: (813) 615-1244

OWNER/DEVELOPER:
VK AVALON GROVES, LLC
14025 RIVEREDGE DR. SUITE 175
TAMPA, FL 33637
ATTN: GREG MEATH,
V.P. LAND DEVELOPMENT
(813) 615-1244

CIVIL ENGINEER:
HEIDT DESIGN, LLC
GARY D. MILLER P.E.
5904-A HAMPTON OAKS PARKWAY
TAMPA, FLORIDA 33610
(813) 253-5311

GEOTECHNICAL ENGINEER:
FAULKNER ENGINEERING SERVICES, INC.
DAVID W. FAULKNER, P.E.
2734 CAUSEWAY CENTER DRIVE
TAMPA, FLORIDA 33619
(813) 621-8168

SURVEYOR:
AMERICAN SURVEYING & MAPPING
DAVID DeFILIPPO
3191 MAGUIRE BOULEVARD, SUITE 200
ORLANDO, FL 32803
(407) 426-7979

NOTE: SEE SHEET C-100A FOR LEGAL DESCRIPTIONS.

5904-A Hampton Oaks Parkway
Tampa, Florida 33610
Office: 813-253-5311
Fax: 813-464-7629

HEIDT DESIGN
Civil Engineering • Planning & GIS
Transportation Engineering
Ecological Services • Landscape Architecture

www.HeidtDesign.com

Engineering Business Certificate of Authorization No. 28782
Landscape Architecture Certificate of Authorization No. LC26000405

Sheet List Table	
Sheet Number	Sheet Title
C-100	COVER SHEET
C-100A	LEGAL DESCRIPTIONS
C-101 - C-103	GENERAL NOTES
C-104	AERIAL SITE PLAN
C-105	EXISTING CONDITIONS
C-106 - C-107	LOT GEOMETRY PLANS
C-200	TYPICAL ROADWAY SECTIONS
C-300	MASTER GRADING & DRAINAGE PLAN
C-301 - C-306	GRADING & DRAINAGE PLAN
C-307	STORM STRUCTURE DATA
C-308	CONTROL STRUCTURE DETAIL
C-309 - C-310	GRADING & DRAINAGE SECTIONS
C-311 - C-315	DRAINAGE DETAILS
C-400	MASTER WATER & SEWER PLAN
C-401 - C-405	WATER & SEWER PLAN
C-501 - C-509	ROADWAY PLAN & PROFILE
C-601 - C-604	PUMP STATION DETAILS
C-605 - C-607	WATER & SEWER DETAILS
C-701 - C-705	SIGNING, PAVEMENT MARKING, & SIDEWALK PLAN
C-706 - C-708	SIGNING, PAVEMENT MARKING, & SIDEWALK DETAILS AND NOTES
C-900	CONSTRUCTION SURFACE WATER MANAGEMENT PLAN
C-901	CONSTRUCTION SURFACE WATER MANAGEMENT PLAN NOTES
C-904 - C-905	DRAINAGE SUB-BASIN AREA MAP
L-200	TREE REMOVAL COVER SHEET
L-201 - L-208	TREE REMOVAL PLAN
L-400	OVERALL LANDSCAPE SHEET
L-401 - L-408	LANDSCAPE PLAN
L-471	LANDSCAPE DETAILS AND NOTES

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- TIMOTHY M. PLATE OF HEIDT DESIGN IS THE ENGINEER OF RECORD FOR CONSTRUCTION ONLY.

FLORIDA PROFESSIONAL ENGINEER
TIMOTHY M. PLATE
DATE: _____
REGISTRATION NO. 41153

NOTE: PER LDF CH. 6.06.01F, SOIL REMOVAL OFFSITE SHALL NOT EXCEED 200% OF THE MINIMUM STORMWATER RETENTION/DETENTION VOLUME REQUIRED.

SERENOA
VILLAGES 1 & 2 - PHASE 1A-1 & 1A-2

VK AVALON GROVES, LLC

DATE	DESCRIPTION	DATE	DESCRIPTION
09/15/2017	SAWGRASS BAY BOULEVARD TIE-IN GRADE REVISIONS	05/28/2020	SJRWMD RECORD SUBMITTAL C301 THRU C308
05/18/2017	ENTRY RADIUS REVISIONS	04/02/2018	ADDED RECORD INFORMATION - C303 - C305, C505, C506, C508 & C703 - C704
03/10/2017	ADD SUBPHASING	02/21/2018	ADDED RECORD INFORMATION - C505, C506 & C508
02/24/2017	COUNTY/SJRWMD COMMENTS	10/23/2017	ADDED RECORD INFORMATION - C505 - C506
01/24/2017	COUNTY/UTILITIES INC COMMENTS	10/18/2017	ADDED RECORD INFORMATION - C501 - C503
12/23/2016	COUNTY/SJRWMD/UTILITIES INC COMMENTS		
10/20/2016	REVIEW SUBMITTAL		

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HEIDT DESIGN
Civil Engineering • Planning & GIS
Transportation Engineering
Ecological Services • Landscape Architecture

ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION: NAVD 88 TO NGVD 29 = +0.86

ADDRESS CONTROL NUMBER	PERMIT / FILE NUMBERS
WATER COMMITMENT	
SEWER COMMITMENT	
SJRWMD	
WATER DEP	
SEWER DEP	
FOLIO	

FLORIDA PROFESSIONAL ENGINEER
Timothy M. Plate, State of Florida,
Professional Engineer, License No. 41153

This item has been digitally signed and sealed by Timothy M. Plate, P.E. on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

GARY D. MILLER
DATE: _____
REGISTRATION NO. 52717

FILE: COVER SJRWMD
PROJECT NO: KLP-AG-1009

GRADING & DRAINAGE
DESIGN BY: FRANCIS
DRAWN BY: JONES

UTILITIES
DESIGN BY: FRANCIS
DRAWN BY: JONES

COVER SHEET
C-100

NOTE: SAWGRASS BAY BOULEVARD PLANS ARE BEING REVISED BY MADDEN ENGINEERING TO REFLECT THE MODIFIED TURN LANE CONFIGURATIONS / R.O.W. WIDTHS AND WILL BE SUBMITTED FOR REVIEW SHORTLY. SAWGRASS BAY BOULEVARD AND THE ASSOCIATED TURN LANES ARE TO BE CONSTRUCTED PER THE MADDEN PLANS, NOT THE SERENOA VILLAGES 1&2 PHASE 1A PLANS.

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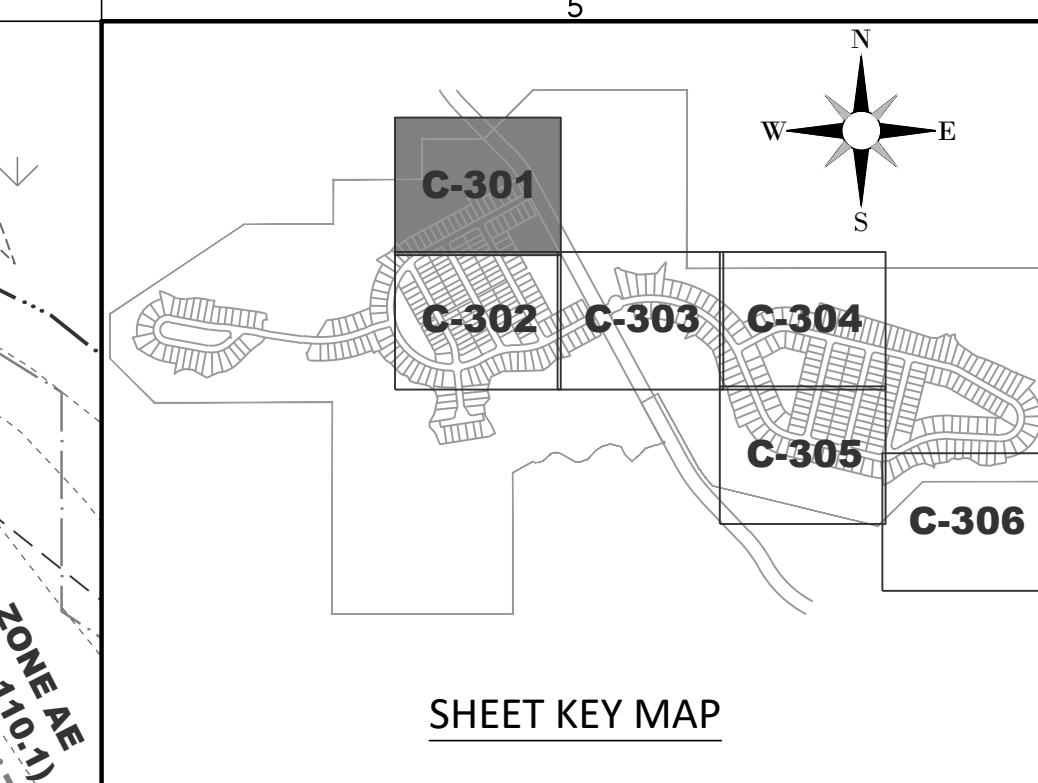
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**SERENOA VILLAGES 1 & 2
1A-1 & 1A-2
"RECORD DRAWINGS"**

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LAST DATE OF FIELD SURVEY: 6/20/2018

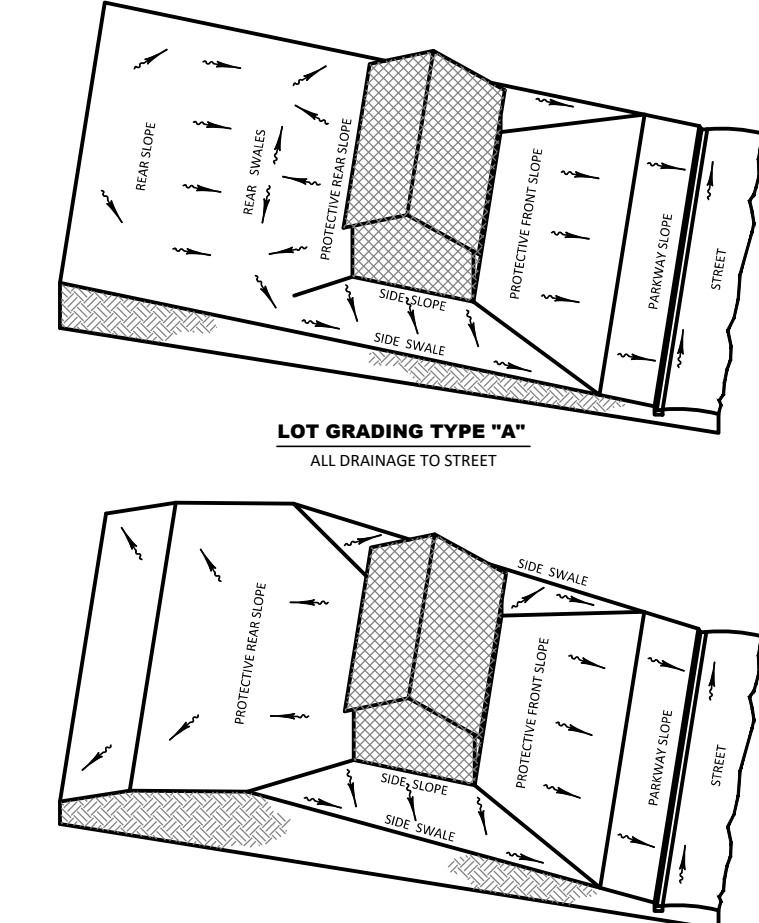


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TIMOTHY M. PLATE
DATE: _____
REGISTRATION NO. 41153

- GENERAL LEGEND**
- PROPERTY LINE
 - PHASE LINE
 - WETLAND LINE
 - WETLAND CONS. AREA SETBACK (WCAS) (50')
 - STAKED EROSION CONTROL
 - PLAN & PROFILE SHEET NUMBER
- DRAINAGE LEGEND**
- EXISTING PROPOSED
 - STORM DRAINAGE STRUCTURE & PIPE
 - STRUCTURE NO.
 - DIRECTION OF SURFACE FLOW
 - CONTOUR
 - FEMA FLOOD LINE
 - SPOT ELEVATION GROUND
 - SPOT ELEVATION PAVEMENT
 - PROFILE GRADE ELEVATION REFERENCE
 - FF=000.00 FINISH FLOOR ELEVATION
 - PB-B SOIL BORING LOCATION (PONDS)
 - EXISTING TREE TO BE PROTECTED
 - SECTION ID LABEL
 - SECTION SHEET NUMBER
 - WETLAND SETBACK ENCROACHMENT
 - WETLAND SETBACK COMPENSATION



- NEIGHBORHOOD GRADING PLAN NOTES:
- PAD AND FINISHED FLOOR ELEVATIONS SHOWN ARE MINIMUM GRADES. ELEVATIONS OF ADJOINING LOTS, EXISTING TREES, AND OTHER FIELD CONDITIONS MAY WARRANT LEAVING LOTS WHICH ARE HIGHER IN THEIR NATURAL STATE. THE CONTRACTOR SHOULD CONSULT WITH THE DEVELOPER/BUILDER AND THE ENGINEER PRIOR TO GRADING ACTIVITIES WHEN THESE CONDITIONS EXIST. NOTE DEVIATIONS IN EXCESS OF TWELVE INCHES (12") HIGHER MAY REQUIRE REVIEW AND APPROVAL THROUGH THE APPLICABLE REVIEWING AGENCY.
 - PAD ELEVATIONS DENOTE FINISH GROUND ELEVATION AT PERIMETER OF BUILDING ENVELOPE.
 - LOTS WITH TWO (2) FEET OR MORE OF FILL PLACEMENT ABOVE EXISTING (NATURAL) GRADE REQUIRE PROCESSING PER FPA DATA SHEET NO. 79-G IF FPA FINANCING IS TO BE PROVIDED. SIMILAR TESTING IS RECOMMENDED AS A QUALITY CONTROL PROGRAM IN THE ABSENCE OF FPA REQUIRED TESTING.
 - FOR ALL LOTS ABUTTING WETLANDS NO GRADING SHALL TAKE PLACE BEYOND THE EROSION CONTROL LINE UNLESS SPECIFICALLY SHOWN ON THE APPROVED CONSTRUCTION PLANS.
 - SIDE SWALES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH HOUSE CONSTRUCTION. DURING THE SITE GRADING ACTIVITIES, THE CONTRACTOR SHALL GRADE THE SIDE YARDS TO AN ELEVATION NO LOWER THAN 0.2 FT. BELOW THE ADJOINING HOUSE PAD GRADES.
 - FOR TYPE "A" LOT GRADING RECEIVING RUNOFF FROM ABUTTING TYPE "B" LOTS, ALL RUNOFF SHALL BE DIRECTED TO SIDE YARD SWALES.
 - FOR TYPE "B" LOT GRADING ABUTTING TYPE "A" LOT GRADING, ALL REAR LOTS, ALL RUNOFF SHALL BE DIRECTED TO SIDE YARD SWALES.
 - FOR TYPE "B" LOT GRADING NOT ABUTTING STORMWATER FACILITIES, THE BUILDER SHALL MAKE EVERY PRACTICAL EFFORT TO DIRECT ROOF RUNOFF TO THE FRONTING RIGHT-OF-WAY UNLESS OTHERWISE DIRECTED BY THE ENGINEER OF RECORD.
 - MINIMUM SIDE YARD SWALE SLOPES SHALL BE 1.0%.

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www.HeidtDesign.com

**SERENOA VILLAGES 1 & 2 - PHASE 1A-1 & 1A-2
GRADING & DRAINAGE PLAN**

DATE	DESCRIPTION
06/28/2020	SUBMITTAL
07/26/2018	ADDED DR. 1A-2 S&D RECORD INFO.
04/02/2018	ADDED RECORD INFORMATION

PROJECT NO: KLP-AG-1009

FILE: _____ GD

DESIGN BY: FRANCIS

DRAWN BY: JONES

FLORIDA PROFESSIONAL ENGINEER

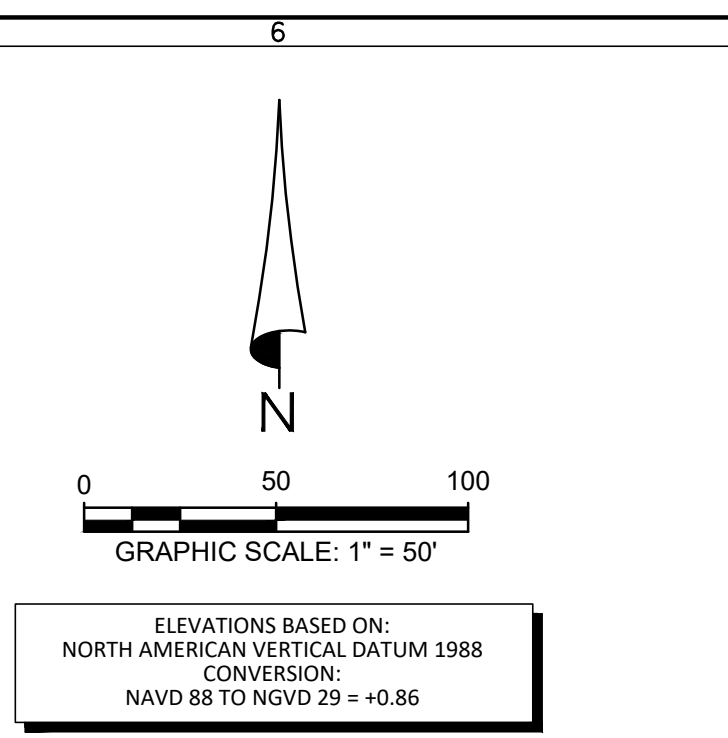
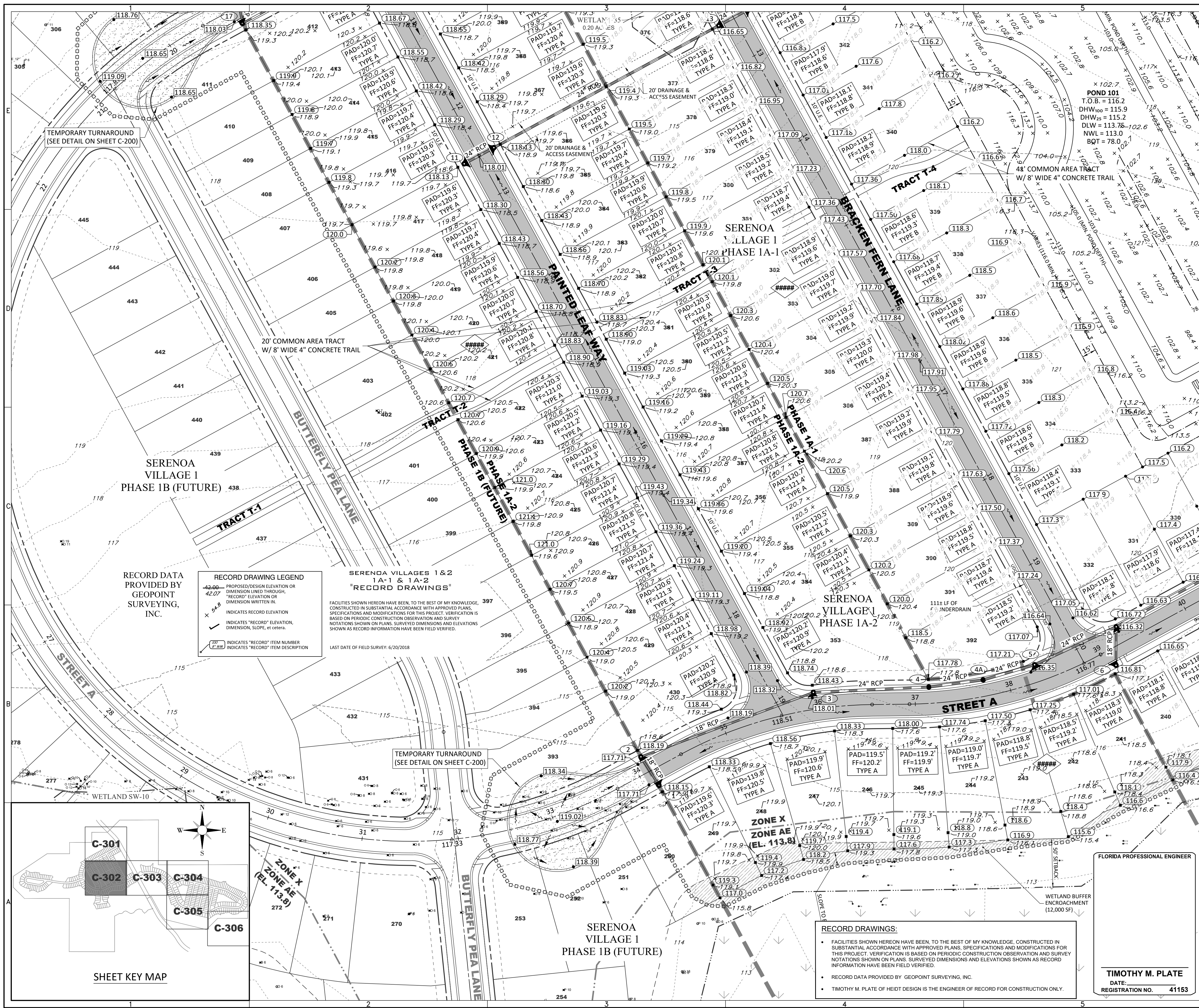
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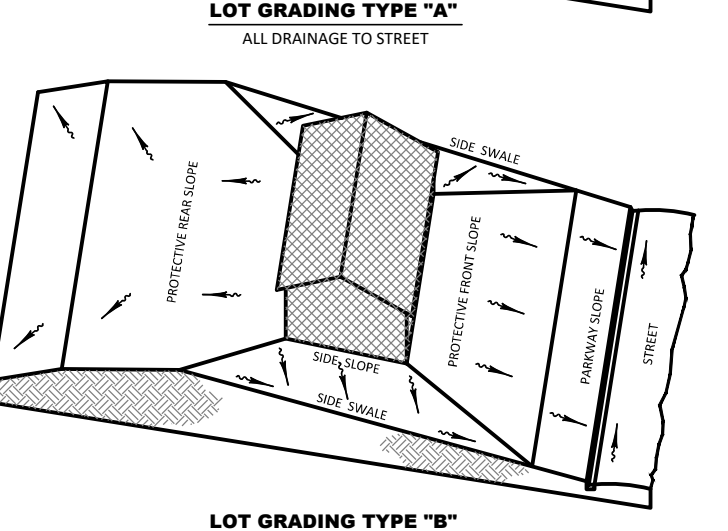
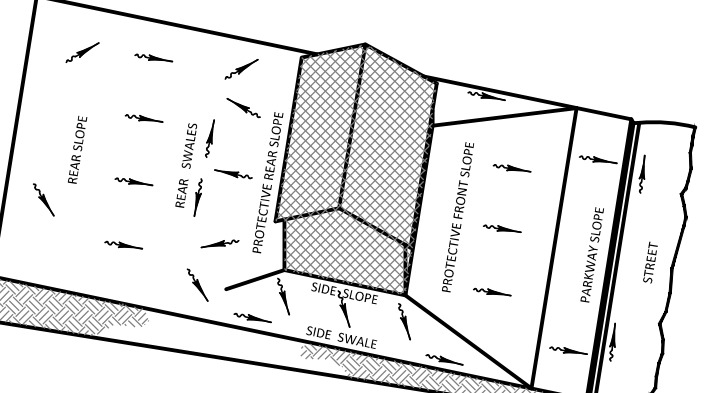
GARY D. MILLER
DATE: _____
REGISTRATION NO. 52717

C-301

RAVALON GROVES VILLAGES 1 AND 2 ENGINEERING RECORD DWG-C-301 20200508 2:36 PM ALCIA SIKES



- GENERAL LEGEND**
- PROPERTY LINE
 - PHASE LINE
 - - - WETLAND LINE
 - - - WETLAND CONS. AREA SETBACK (WCAS) (50')
 - STAKED EROSION CONTROL
 - PLAN & PROFILE SHEET NUMBER
- DRAINAGE LEGEND**
- EXISTING PROPOSED
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 - STRUCTURE NO.
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 - CONTOUR
 - FEMA FLOOD LINE
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 - EXISTING TREE TO BE PROTECTED
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 - WETLAND SETBACK COMPENSATION



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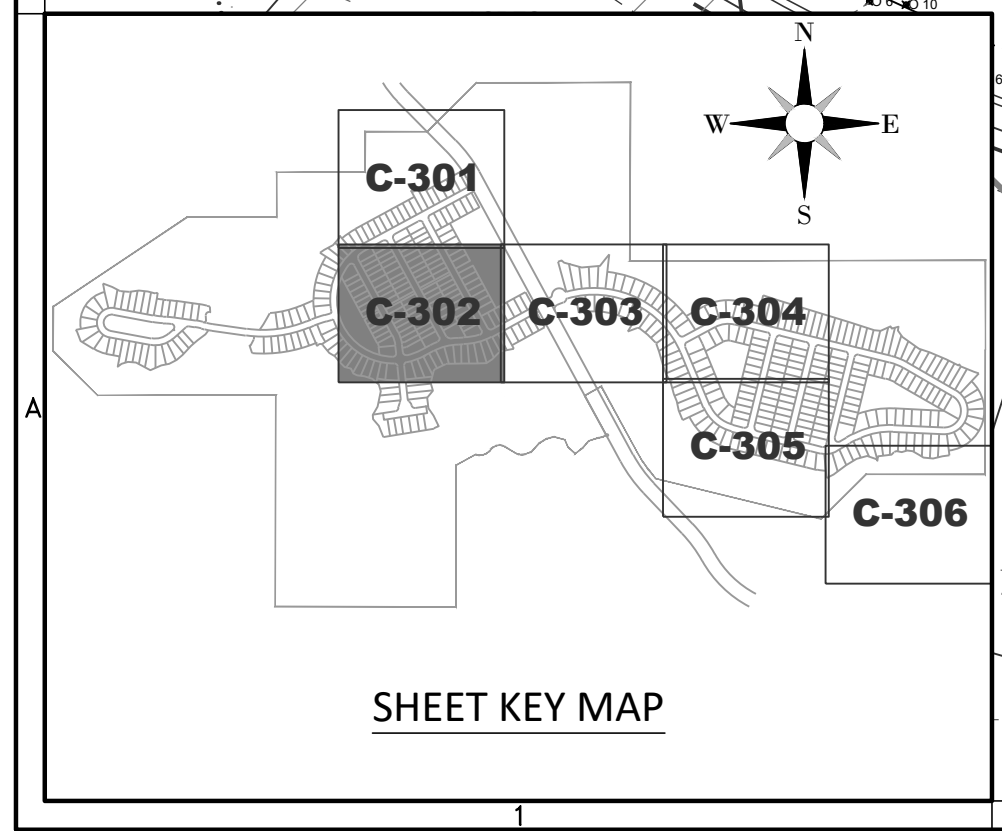
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FLORIDA PROFESSIONAL ENGINEER

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SERENOA VILLAGES 1 & 2 - PHASE 1A-1 & 1A-2 GRADING & DRAINAGE PLAN

PREPARED FOR: **VK AVALON GROVES, LLC**

NO.	DATE	DESCRIPTION
1	05/28/2020	REVISION SUBMITTAL
2	07/26/2018	ADD RECORD INFORMATION
3	01/24/2017	COUNTY COMMENTS
4	12/23/2016	COUNTY COMMENTS
5	03/10/2017	ADD SUBPHASING

PROJECT NO.: KLP-AG-1009

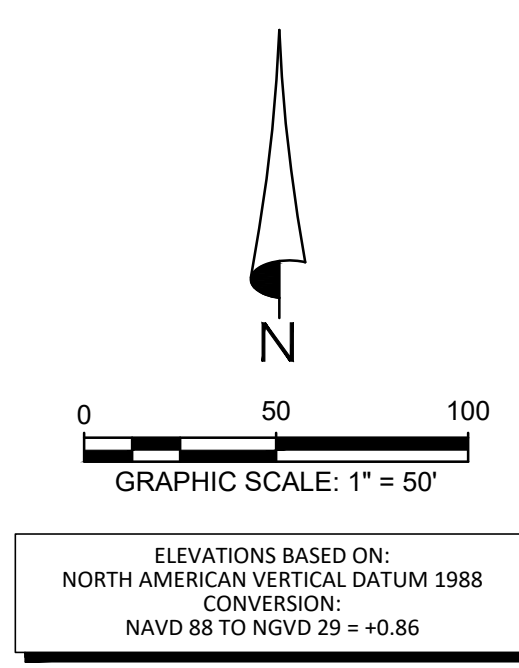
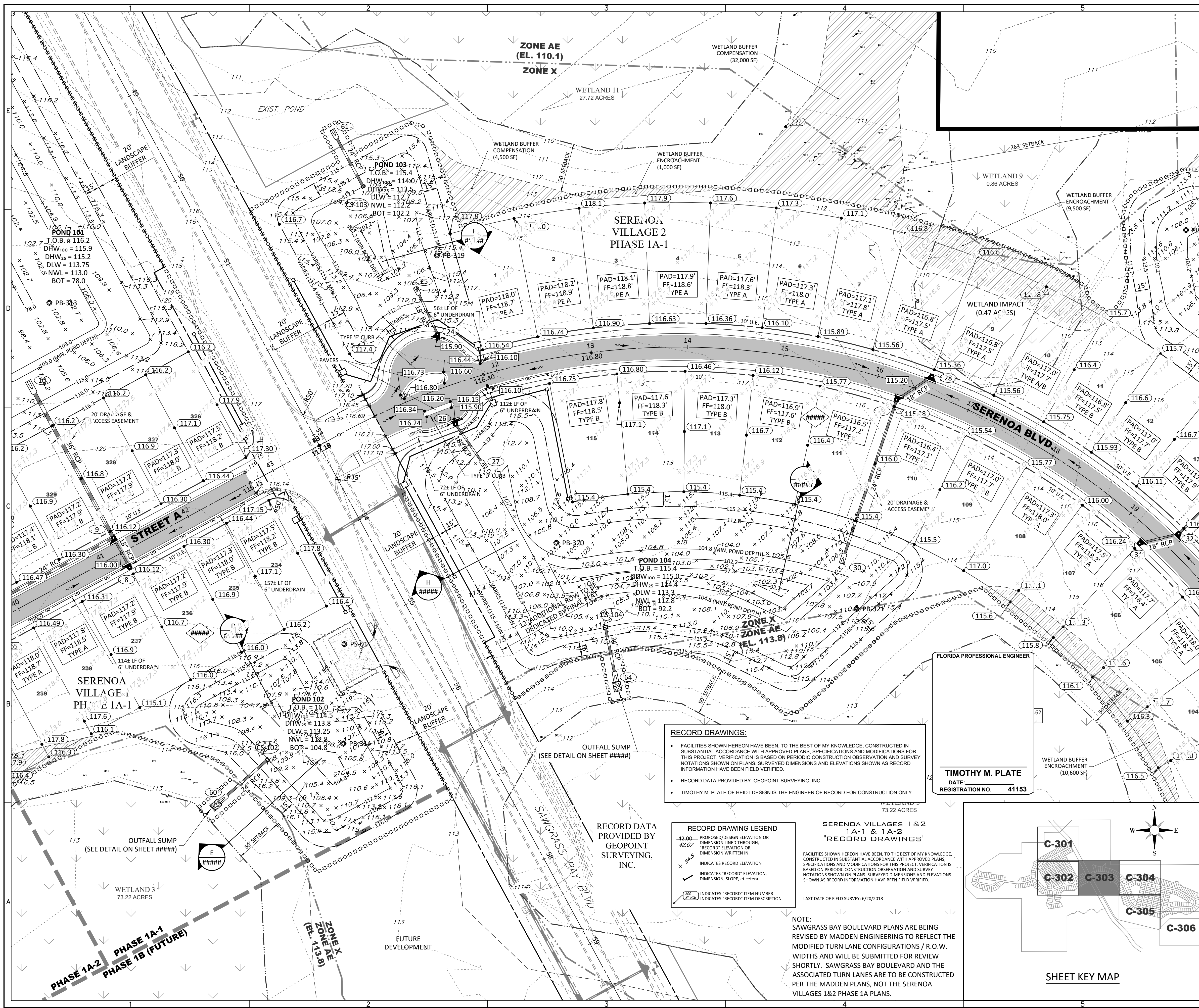
FILE: GD
DESIGN BY: FRANCIS
DRAWN BY: JONES
FLORIDA PROFESSIONAL ENGINEER

Timothy M. Plate, State of Florida, Professional Engineer, License No. 41153
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GARY D. MILLER
DATE: _____
REGISTRATION NO. 52717

C-302

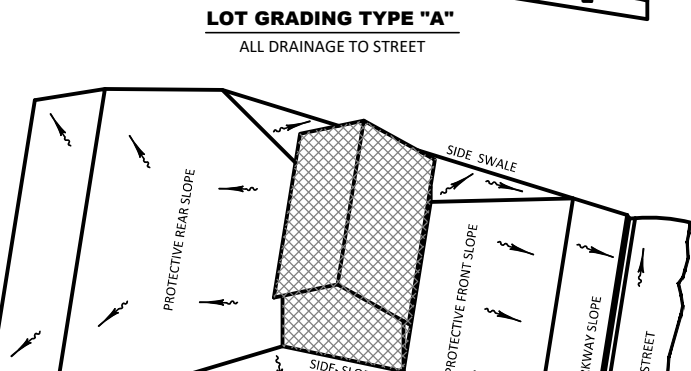
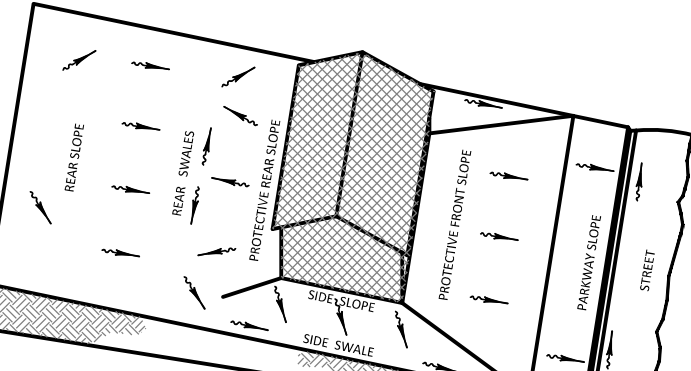


GENERAL LEGEND

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DRAINAGE LEGEND

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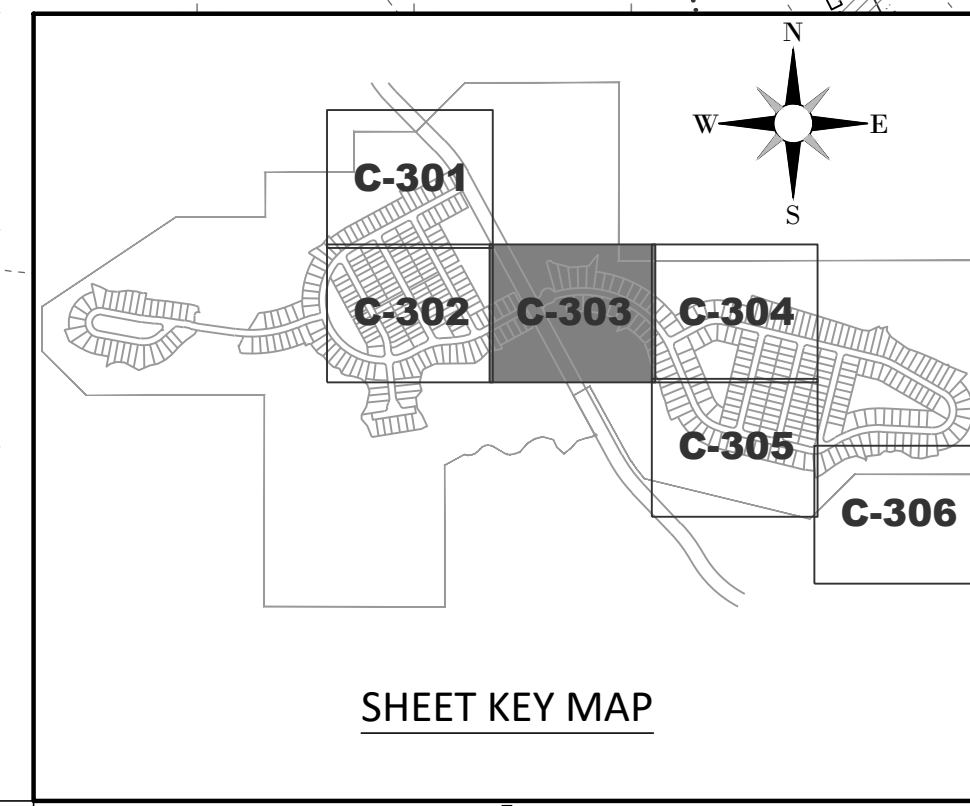
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 SAWGRASS BAY BOULEVARD PLANS ARE BEING REVISED BY MADDEN ENGINEERING TO REFLECT THE MODIFIED TURN LANE CONFIGURATIONS / R.O.W. WIDTHS AND WILL BE SUBMITTED FOR REVIEW SHORTLY. SAWGRASS BAY BOULEVARD AND THE ASSOCIATED TURN LANES ARE TO BE CONSTRUCTED PER THE MADDEN PLANS, NOT THE SERENOA VILLAGES 1&2 PHASE 1A PLANS.



- NEIGHBORHOOD GRADING PLAN NOTES:
- PAD AND FINISHED FLOOR ELEVATIONS SHOWN ARE MINIMUM GRADES. ELEVATIONS OF ADJOINING LOTS, EXISTING TREES, AND OTHER FIELD CONDITIONS MAY WARRANT LEAVING LOTS WHICH ARE HIGHER IN THEIR NATURAL STATE. THE CONTRACTOR SHOULD CONSULT WITH THE DEVELOPER/BUILDER AND THE ENGINEER PRIOR TO GRADING ACTIVITIES WHEN THESE CONDITIONS EXIST. NOTE DEVIATIONS IN EXCESS OF TWELVE INCHES (12") HIGHER MAY REQUIRE REVIEW AND APPROVAL THROUGH THE APPLICABLE REVIEWING AGENCY.
 - PAD ELEVATIONS DENOTE FINISH GROUND ELEVATION AT PERIMETER OF BUILDING ENVELOPE.
 - LOTS WITH TWO (2) FEET OR MORE OF FILL PLACEMENT ABOVE EXISTING (NATURAL) GRADE REQUIRE PROCESSING PER FHA DATA SHEET NO. 79-G IF FHA FINANCING IS TO BE PROVIDED. SIMILAR TESTING IS RECOMMENDED AS A QUALITY CONTROL PROGRAM IN THE ABSENCE OF FHA REQUIRED TESTING.
 - FOR ALL LOTS ABUTTING WETLANDS NO GRADING SHALL TAKE PLACE BEYOND THE EROSION CONTROL LINE UNLESS SPECIFICALLY SHOWN ON THE APPROVED CONSTRUCTION PLANS.
 - SIDE SWALES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH HOUSE CONSTRUCTION. DURING THE SITE GRADING ACTIVITIES, THE CONTRACTOR SHALL GRADE THE SIDE YARDS TO AN ELEVATION NO LOWER THAN 0.2 FT. BELOW THE ADJOINING HOUSE PAD GRADES.
 - FOR TYPE "A" LOT GRADING RECEIVING RUNOFF FROM ABUTTING TYPE "B" LOTS, ALL RUNOFF SHALL BE DIRECTED TO SIDE YARD SWALES.
 - FOR TYPE "B" LOT GRADING ABUTTING TYPE "A" LOT GRADING, ALL REAR LOTS, ALL RUNOFF SHALL BE DIRECTED TO SIDE YARD SWALES.
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 - MINIMUM SIDE YARD SWALE SLOPES SHALL BE 1.0%.

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 Fax: 813-464-7629
 www.HeidtDesign.com

SERENOA VILLAGES 1 & 2 - PHASE 1A-1 & 1A-2 GRADING & DRAINAGE PLAN

PREPARED FOR: **VK AVALON GROVES, LLC**

DATE	DESCRIPTION
05/28/2020	SHRIMP RECORD SUBMITTAL
04/02/2018	ADDED RECORD INFORMATION

DATE	DESCRIPTION
09/15/2017	SAWGRASS BAY BLVD GRADE REV.
05/18/2017	ENTRY RADIUS REVISIONS
03/10/2017	ADD SUBPHASING
02/24/2017	COUNTY COMMENTS
01/24/2017	COUNTY COMMENTS
12/23/2016	COUNTY COMMENTS
10/20/2016	REVISION SUBMITTAL

PROJECT NO: **KLP-AG-1009**
 FILE: **GD**
 DESIGN BY: **FRANCIS**
 DRAWN BY: **JONES**

FLORIDA PROFESSIONAL ENGINEER
 Timothy M. Plate, State of Florida, Professional Engineer, License No. 41153

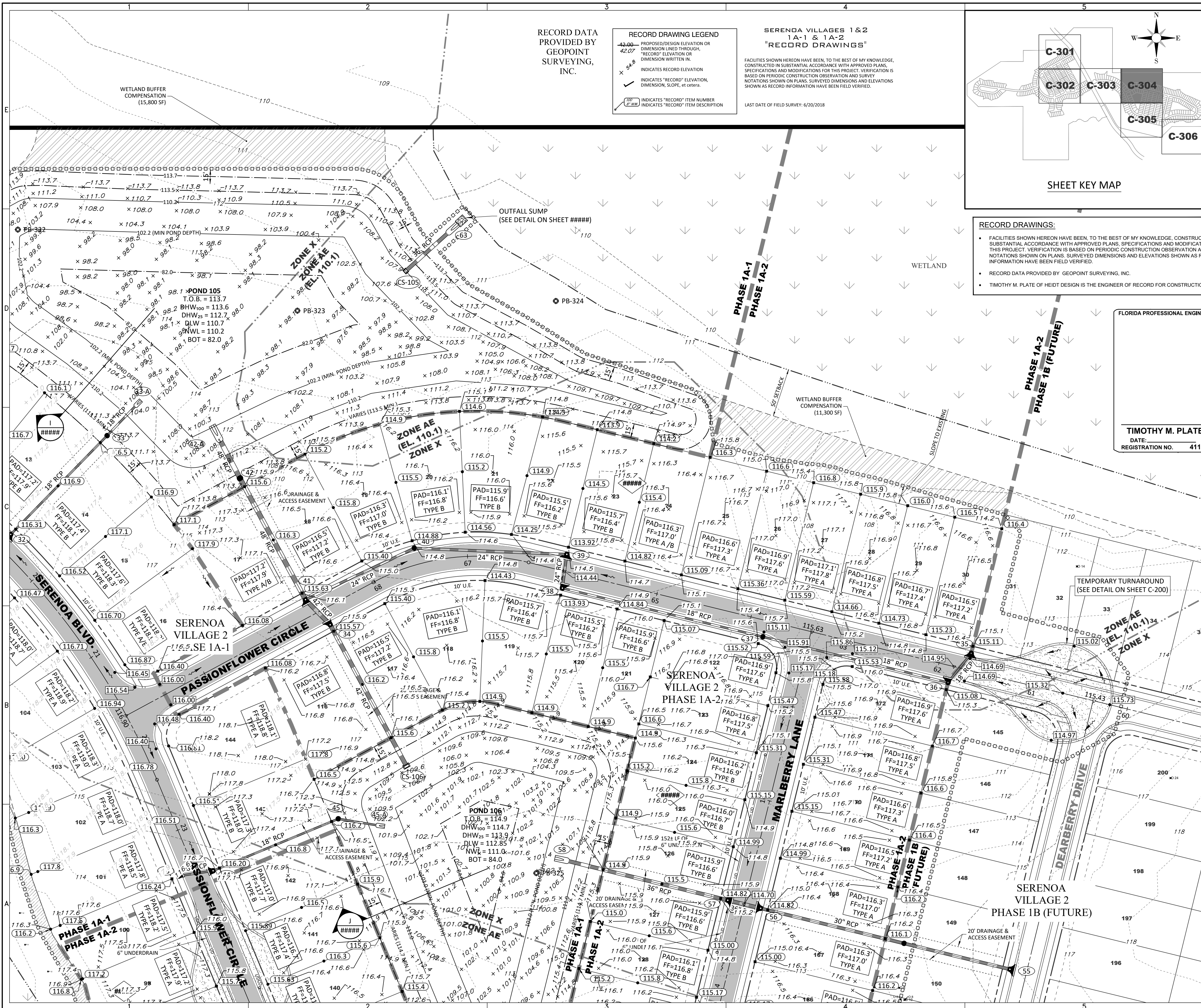
This item has been digitally signed and sealed by Timothy M. Plate, P.E. on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

GARY D. MILLER
 DATE: _____
 REGISTRATION NO. 52717

C-303

RAVALON GROVES/VILLAGES 1 AND 2/ENGINEERING/RECORD/DWG-C-303 2020/05/28 2:33 PM ALCIA SIKES
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RECORD DATA PROVIDED BY GEOPPOINT SURVEYING, INC.

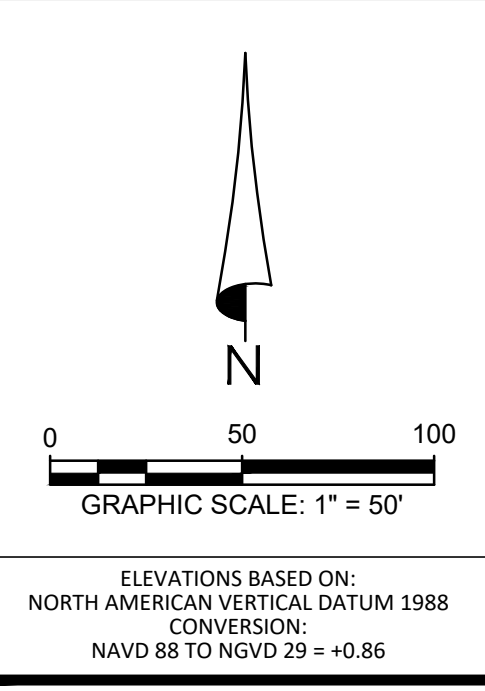
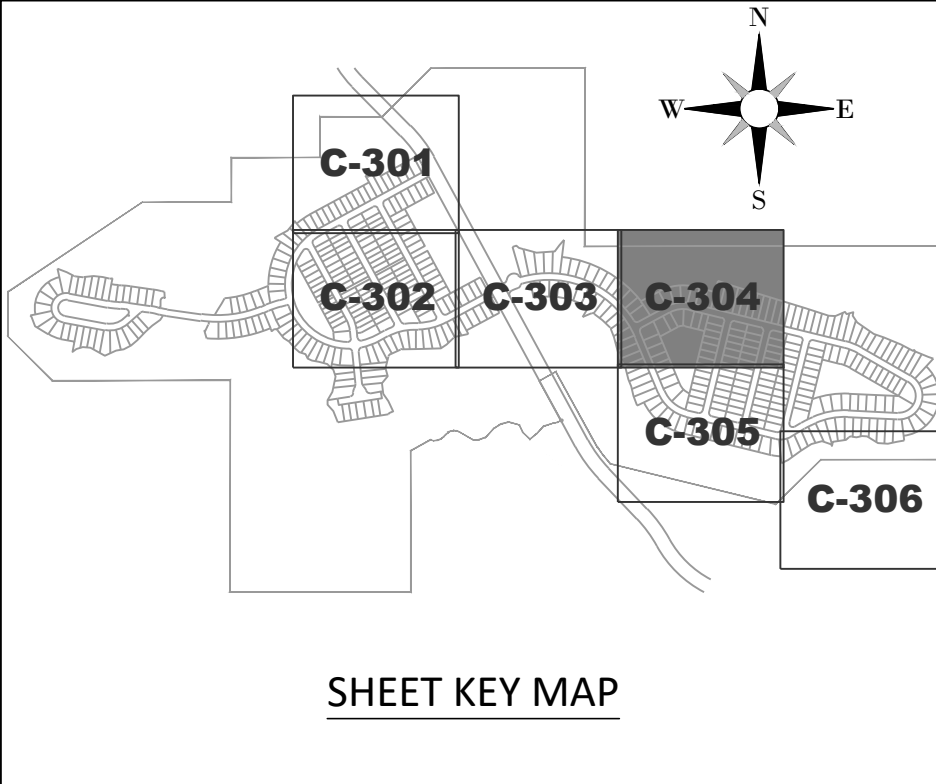
RECORD DRAWING LEGEND

- 42.00 - PROPOSED/DESIGN ELEVATION OR DIMENSION LINED THROUGH "RECORD" ELEVATION OR DIMENSION WRITTEN IN.
- 42.07 - INDICATES RECORD ELEVATION OR DIMENSION WRITTEN IN.
- INDICATES RECORD ELEVATION OR DIMENSION WRITTEN IN.
- INDICATES "RECORD" ELEVATION, DIMENSION, SLOPE, etc. as noted.
- INDICATES "RECORD" ITEM NUMBER.
- INDICATES "RECORD" ITEM DESCRIPTION.

**SERENOA VILLAGES 1 & 2
1A-1 & 1A-2
"RECORD DRAWINGS"**

FACILITIES SHOWN HEREON HAVE BEEN, TO THE BEST OF MY KNOWLEDGE, CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH APPROVED PLANS, SPECIFICATIONS AND MODIFICATIONS FOR THIS PROJECT. VERIFICATION IS BASED ON PERIODIC CONSTRUCTION OBSERVATION AND SURVEY NOTATIONS SHOWN ON PLANS. SURVEYED DIMENSIONS AND ELEVATIONS SHOWN AS RECORD INFORMATION HAVE BEEN FIELD VERIFIED.

LAST DATE OF FIELD SURVEY: 6/20/2018



ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION:
NAVD 88 TO NGVD 29 = +0.86

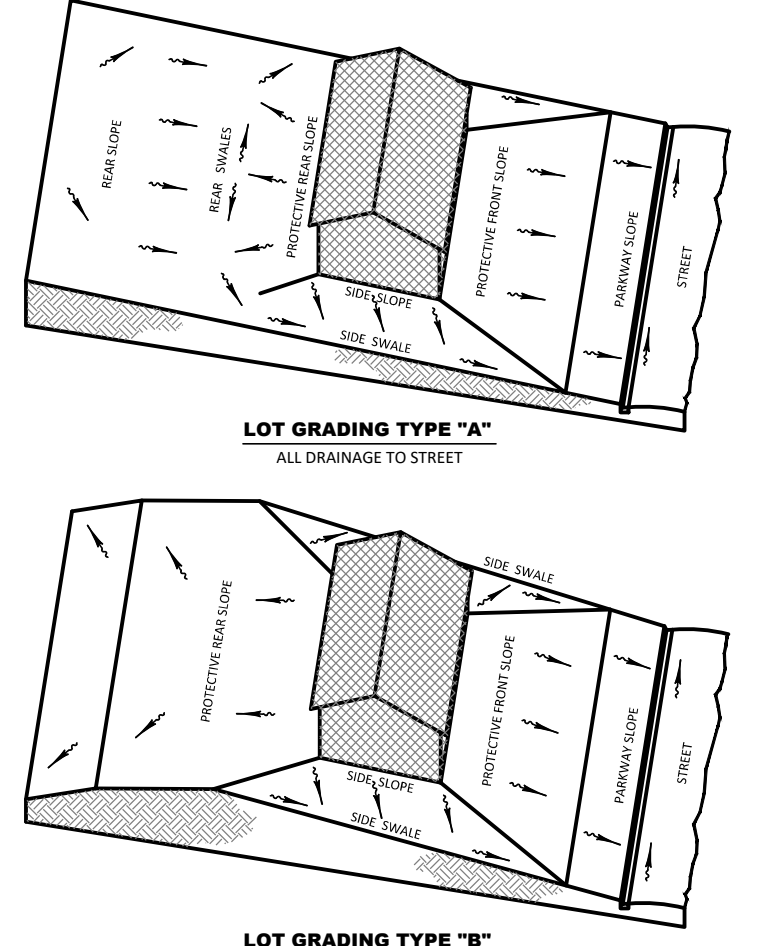
RECORD DRAWINGS:

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- RECORD DATA PROVIDED BY GEOPPOINT SURVEYING, INC.
- TIMOTHY M. PLATE OF HEIDT DESIGN IS THE ENGINEER OF RECORD FOR CONSTRUCTION ONLY.

GENERAL LEGEND

- PROPERTY LINE
 - PHASE LINE
 - WETLAND LINE
 - WETLAND CONS. AREA SETBACK (WCAS) (50')
 - STAKED EROSION CONTROL
 - PLAN & PROFILE SHEET NUMBER
- DRAINAGE LEGEND**
- EXISTING PROPOSED
 - STORM DRAINAGE STRUCTURE & PIPE
 - STRUCTURE NO.
 - DIRECTION OF SURFACE FLOW
 - CONTOUR
 - FEMA FLOOD LINE
 - SPOT ELEVATION GROUND
 - SPOT ELEVATION PAVEMENT
 - PROFILE GRADE ELEVATION REFERENCE
 - FF=000.00 FINISH FLOOR ELEVATION
 - SOIL BORING LOCATION (PONDS)
 - EXISTING TREE TO BE PROTECTED
 - SECTION ID LABEL
 - SECTION SHEET NUMBER
 - WETLAND SETBACK ENCROACHMENT
 - WETLAND SETBACK COMPENSATION

FLORIDA PROFESSIONAL ENGINEER
TIMOTHY M. PLATE
DATE:
REGISTRATION NO. 41153



- NEIGHBORHOOD GRADING PLAN NOTES:
- PAD AND FINISHED FLOOR ELEVATIONS SHOWN ARE MINIMUM GRADES. ELEVATIONS OF ADJOINING LOTS, EXISTING TREES, AND OTHER FIELD CONDITIONS MAY WARRANT LEAVING LOTS WHICH ARE HIGHER IN THEIR NATURAL STATE. THE CONTRACTOR SHOULD CONSULT WITH THE DEVELOPER/BUILDER AND THE ENGINEER PRIOR TO CONSTRUCTION ACTIVITIES WHEN THESE CONDITIONS EXIST. NOTE DEVIATIONS IN EXCESS OF TWELVE INCHES (12") HIGHER MAY REQUIRE REVIEW AND APPROVAL THROUGH THE APPLICABLE REVIEWING AGENCY.
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Fax: 813-464-7629
www.HeidtDesign.com

**SERENOA VILLAGES 1 & 2 - PHASE 1A-1 & 1A-2
GRADING & DRAINAGE PLAN**

NO.	DATE	DESCRIPTION
1	06/20/2018	ADDED RECORD INFORMATION
2	07/26/2018	ADDED PH. 1A-2 S&D RECORD INFO.
3	01/24/2017	COUNTY COMMENTS
4	12/23/2016	COUNTY COMMENTS
5	03/02/2017	ADD SUBPHASING

PROJECT NO: KLP-AG-1009

FILE: GD
DESIGN BY: FRANCIS
DRAWN BY: JONES

FLORIDA PROFESSIONAL ENGINEER

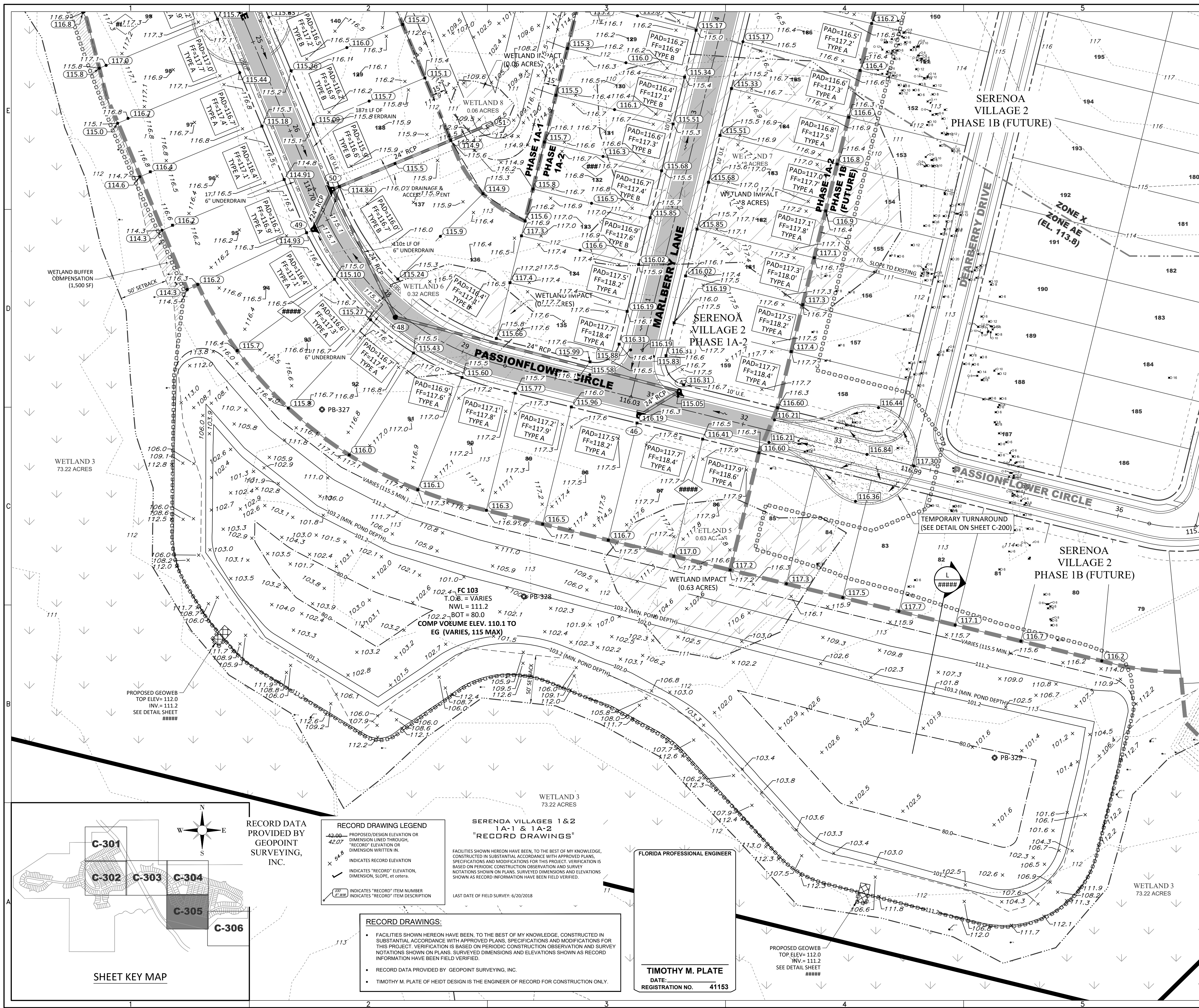
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GARY D. MILLER
DATE:
REGISTRATION NO. 52717

C-304

RAVALON GROVES/VILLAGES 1 AND 2 ENGINEERING RECORD DWG-C-304 20200508 2:51 PM ALCIA SIKES



GRAPHIC SCALE: 1" = 50'

ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION:
NAVD 88 TO NGVD 29 = +0.86

GENERAL LEGEND

- PROPERTY LINE
- PHASE LINE
- WETLAND LINE
- WETLAND CONS. AREA SETBACK (WCAS) (50')
- STAKED EROSION CONTROL
- PLAN & PROFILE SHEET NUMBER

DRAINAGE LEGEND

EXISTING	PROPOSED	DESCRIPTION
		STORM DRAINAGE STRUCTURE & PIPE
		STRUCTURE NO.
		DIRECTION OF SURFACE FLOW
		CONTOUR
		FEMA FLOOD LINE
		SPOT ELEVATION GROUND
		SPOT ELEVATION PAVEMENT
		PROFILE GRADE ELEVATION REFERENCE
		FINISH FLOOR ELEVATION
		SOIL BORING LOCATION (PONDS)
		EXISTING TREE TO BE PROTECTED
		SECTION ID LABEL
		SECTION SHEET NUMBER
		WETLAND SETBACK ENCROACHMENT
		WETLAND SETBACK COMPENSATION

LOT GRADING TYPE "A"
ALL DRAINAGE TO STREET

LOT GRADING TYPE "B"
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

NEIGHBORHOOD GRADING PLAN NOTES:

- PAD AND FINISHED FLOOR ELEVATIONS SHOWN ARE MINIMUM GRADES. ELEVATIONS OF ADJOINING LOTS, EXISTING TREES, AND OTHER FIELD CONDITIONS MAY WARRANT LEAVING LOTS WHICH ARE HIGHER IN THEIR NATURAL STATE. THE CONTRACTOR SHOULD CONSULT WITH THE DEVELOPER/BUILDER AND THE ENGINEER PRIOR TO GRADING ACTIVITIES WHEN THESE CONDITIONS EXIST. NOTE DEVIATIONS IN EXCESS OF TWELVE INCHES (12") HIGHER MAY REQUIRE REVIEW AND APPROVAL THROUGH THE APPLICABLE REVIEWING AGENCY.
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SERENOA VILLAGES 1 & 2 - PHASE 1A-1 & 1A-2
GRADING & DRAINAGE PLAN

PREPARED FOR: **VK AVALON GROVES, LLC**

DATE	DESCRIPTION
06/28/2020	SHRIMP RECORD SUBMITTAL
07/26/2020	ADDED DR. 1A-2 S&D RECORD INFO.
04/02/2020	ADDED RECORD INFORMATION
03/10/2017	ADD SUBPHASING
01/24/2017	COUNTY COMMENTS
12/23/2016	COUNTY COMMENTS
10/20/2016	REVISION SUBMITTAL

PROJECT NO.: KLP-AG-1009

FILE: _____
DESIGN BY: FRANCIS
DRAWN BY: JONES
FLORIDA PROFESSIONAL ENGINEER

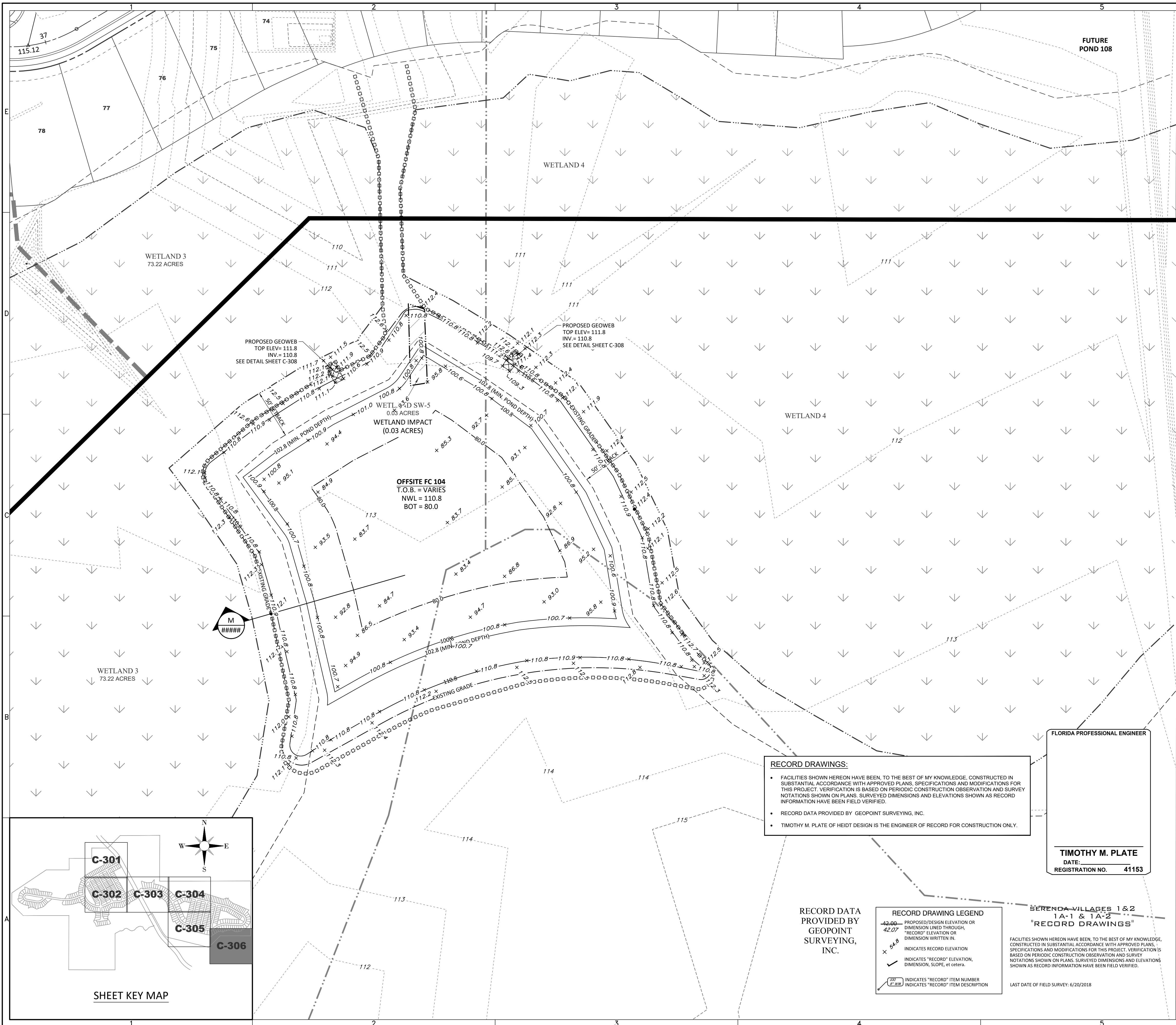
Timothy M. Plate, State of Florida,
Professional Engineer, License No. 41153
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Timothy M. Plate, P.E. on the date
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GARY D. MILLER
DATE: _____
REGISTRATION NO. 52171

C-305

RAVALON GROVES VILLAGES 1 AND 2 ENGINEERING RECORD DWG-C-305 2020/05/28 2:40 PM ALCIA RISES



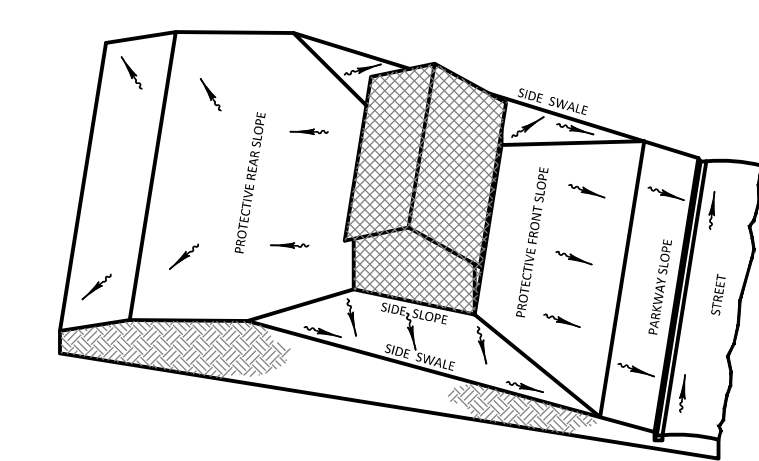
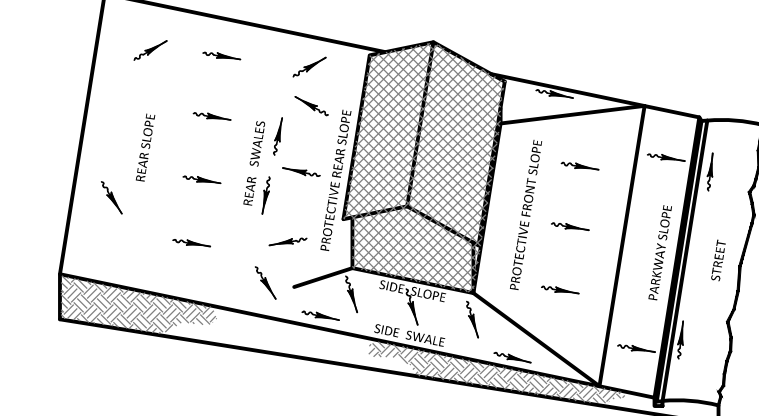
N

0 50 100

GRAPHIC SCALE: 1" = 50'

ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION:
NAVD 88 TO NGVD 29 = +0.86

- GENERAL LEGEND**
- PROPERTY LINE
 - PHASE LINE
 - WETLAND LINE
 - WETLAND CONS. AREA SETBACK (WCAS) (50')
 - STAKED EROSION CONTROL
 - PLAN & PROFILE SHEET NUMBER
- DRAINAGE LEGEND**
- | EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|-----------------------------------|
| | | STORM DRAINAGE STRUCTURE & PIPE |
| | | STRUCTURE NO. |
| | | DIRECTION OF SURFACE FLOW |
| | | CONTOUR |
| | | FEMA FLOOD LINE |
| | | SPOT ELEVATION GROUND |
| | | SPOT ELEVATION PAVEMENT |
| | | PROFILE GRADE ELEVATION REFERENCE |
| | | FINISH FLOOR ELEVATION |
| | | SOIL BORING LOCATION (PONDS) |
| | | EXISTING TREE TO BE PROTECTED |
| | | SECTION ID LABEL |
| | | SECTION SHEET NUMBER |
| | | WETLAND SETBACK ENCROACHMENT |
| | | WETLAND SETBACK COMPENSATION |



- NEIGHBORHOOD GRADING PLAN NOTES:
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 - MINIMUM SIDE YARD SWALE SLOPES SHALL BE 1.0%.

RECORD DRAWINGS:

- FACILITIES SHOWN HEREON HAVE BEEN, TO THE BEST OF MY KNOWLEDGE, CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH APPROVED PLANS. SPECIFICATIONS AND MODIFICATIONS FOR THIS PROJECT. VERIFICATION IS BASED ON PERIODIC CONSTRUCTION OBSERVATION AND SURVEY NOTATIONS SHOWN ON PLANS. SURVEYED DIMENSIONS AND ELEVATIONS SHOWN AS RECORD INFORMATION HAVE BEEN FIELD VERIFIED.
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- TIMOTHY M. PLATE OF HEIDT DESIGN IS THE ENGINEER OF RECORD FOR CONSTRUCTION ONLY.

FLORIDA PROFESSIONAL ENGINEER

TIMOTHY M. PLATE
DATE: _____
REGISTRATION NO. 41153

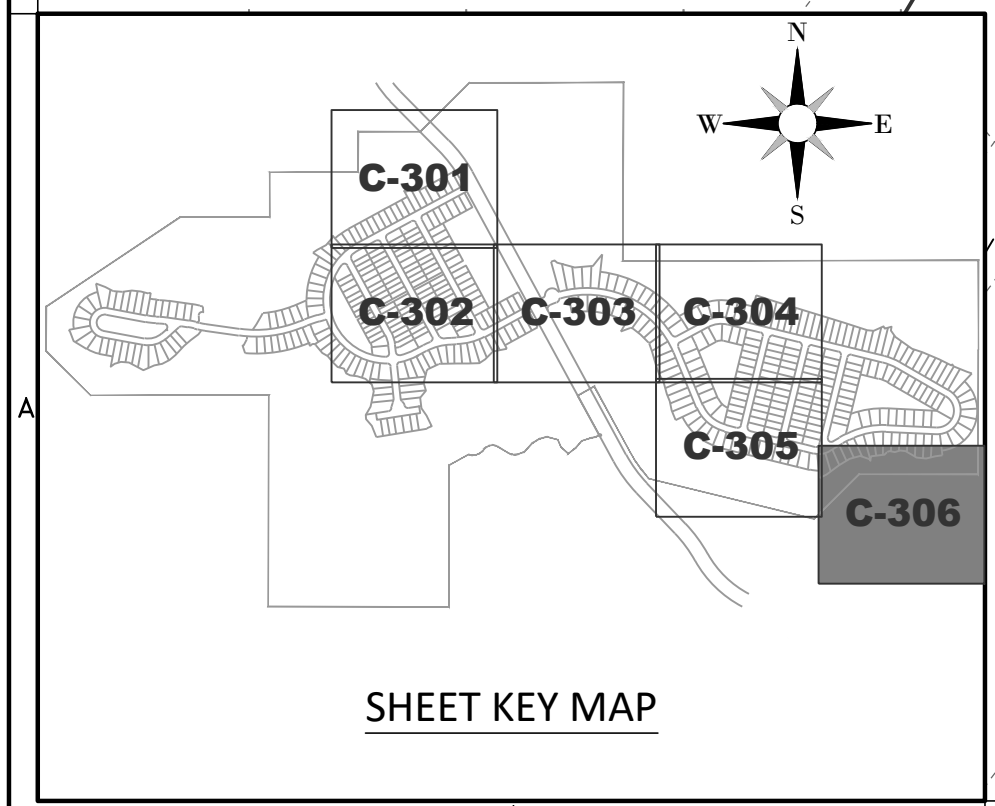
RECORD DRAWING LEGEND

- PROPOSED DESIGN ELEVATION OR DIMENSION LINED THROUGH
- RECORD ELEVATION OR DIMENSION WRITTEN IN
- INDICATES RECORD ELEVATION
- INDICATES "RECORD" ELEVATION, DIMENSION, SLOPE, ETC.
- INDICATES "RECORD" ITEM NUMBER
- INDICATES "RECORD" ITEM DESCRIPTION

SERENOA VILLAGES 1 & 2
1A-1 & 1A-2
"RECORD DRAWINGS"

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LAST DATE OF FIELD SURVEY: 6/20/2018



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Engineering Business Certificate of Authorization No. 28793
Landscape Architecture Certificate of Authorization No. LC28080405

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www.HeidtDesign.com

SERENOA VILLAGES 1 & 2 - PHASE 1A-1 & 1A-2
GRADING & DRAINAGE PLAN

PREPARED FOR: **VK AVALON GROVES, LLC**

DATE	DESCRIPTION
05/28/2020	SRWMD RECORD SUBMITTAL
04/02/2018	ADDED RECORD INFORMATION
12/23/2016	COUNTY COMMENTS
10/20/2016	RECORD SUBMITTAL

PROJECT NO: KLP-AG-1009

FILE: _____

DESIGN BY: FRANCIS

DRAWN BY: JONES

FLORIDA PROFESSIONAL ENGINEER

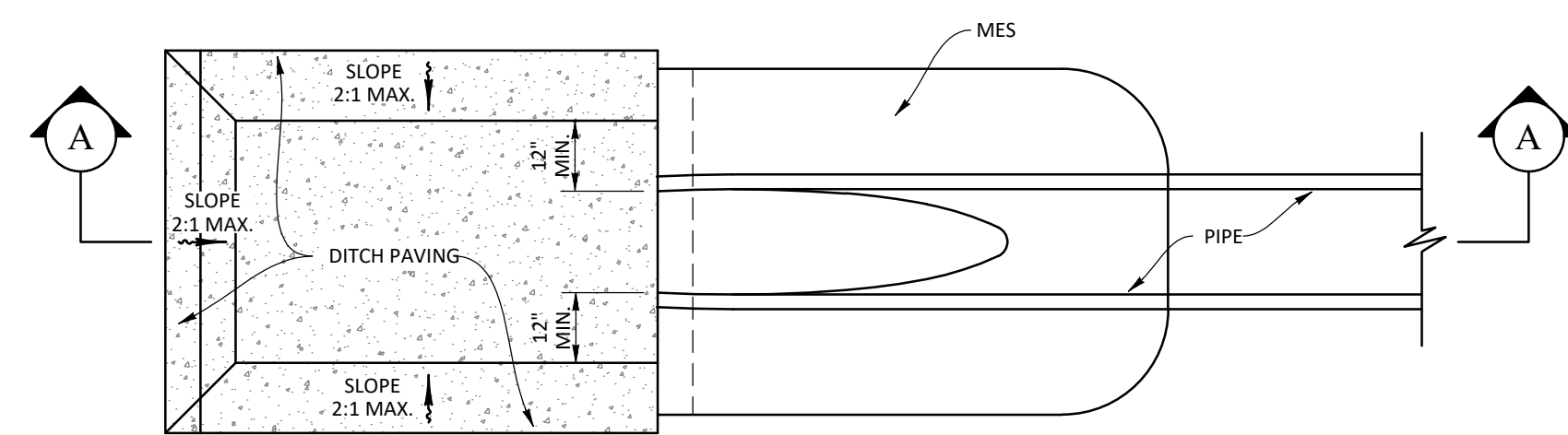
Timothy M. Plate, (State of Florida, Professional Engineer, License No. 41153)

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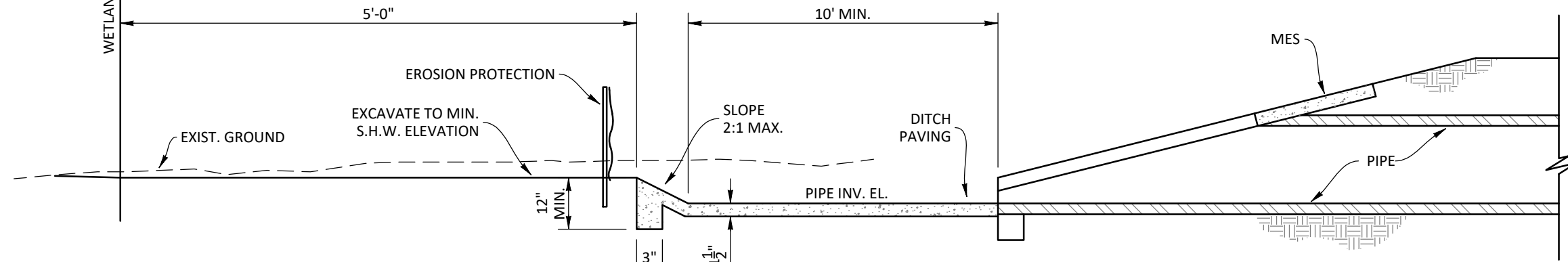
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GARY D. MILLER
DATE: _____
REGISTRATION NO. 52171

C-306



PLAN



SECTION "A-A"

TYPICAL POND/OUTFALL SUMP DETAIL
DITCH PAVING
SCALE: NTS

CONTROL STRUCTURE DATA															
STR. NO.	FOOT BOX TYPE	TOP EL.	BOTTOM EL.	TYPE	SIZE (IN.)	INV. EL. (IN.)	ATTENUATION AND TREATMENT CONTROLS						REMARKS		
							STR. TYPE	ATTENUATION OPENING		TREATMENT OPENING				ELEV. (FT.)	
A	B	C	D	F'											
CS-100	D	114.7 114.16	108.0 108.28	RCP	36	108.8 108.76	CS-10	1'-0"	2'-0"	112.17 112.12	2.75"	2.75"		111.5 111.42	POND 100 OUTFALL
CS-101	D	115.7 115.62	109.2 109.10	RCP	36	110.0 110.02	CS-10	0'-6"	2'0"	113.75 113.53	4.625"	4.625"		113.0 112.94	POND 101 OUTFALL
CS-102	C	115.5 115.41	110.0 109.88	RCP	24	110.8 110.79	CS-10	1'-0"	2'-5"	113.25 113.11	2.5"	2.5"		112.8 112.7	POND 102 OUTFALL
CS-103	C	114.9 114.80	109.2 109.13	RCP	24	110.0 109.96	CS-10	0'-6"	2'-3.5"	112.7 112.57	2.5"	2.5"		112.2 112.1	POND 103 OUTFALL
CS-104	D	114.9 114.94	108.2 108.14	RCP	36	109.0 108.96	CS-10	0'-3"	1'-7"	113.3 113.32	2.675"	2.675"		112.8 112.92	POND 104 OUTFALL
CS-105	D	113.2 113.16	105.7 105.59	RCP	36	106.5 106.63	CS-10	1'-6"	2'-6"	110.7 110.64	4"	4"		110.2 110.13	POND 105 OUTFALL
CS-106	H	114.4 114.44	107.6 107.66	RCP	42	108.3 108.3	CS-10	8'-7"	1'-8"	112.75 112.75	3.875"	3.875"		111.0 111.12	POND 106 OUTFALL

*NOTE:
TREATMENT OPENINGS FOR C-106:
A = 5'-7"
A1 = 1'-6"
A2 = 1'-6"

RECORD DRAWINGS:

- FACILITIES SHOWN HEREON HAVE BEEN, TO THE BEST OF MY KNOWLEDGE, CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH APPROVED PLANS. SPECIFICATIONS AND MODIFICATIONS FOR THIS PROJECT. VERIFICATION IS BASED ON PERIODIC CONSTRUCTION OBSERVATION AND SURVEY NOTATIONS SHOWN ON PLANS. SURVEYED DIMENSIONS AND ELEVATIONS SHOWN AS RECORD INFORMATION HAVE BEEN FIELD VERIFIED.
- RECORD DATA PROVIDED BY GEOPOINT SURVEYING, INC.
- TIMOTHY M. PLATE OF HEIDT DESIGN IS THE ENGINEER OF RECORD FOR CONSTRUCTION ONLY.

FLORIDA PROFESSIONAL ENGINEER

TIMOTHY M. PLATE
DATE:
REGISTRATION NO. 41153

NOTE:
DRAWING NOT TO SCALE

NOTE:
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTING CONTROL STRUCTURES

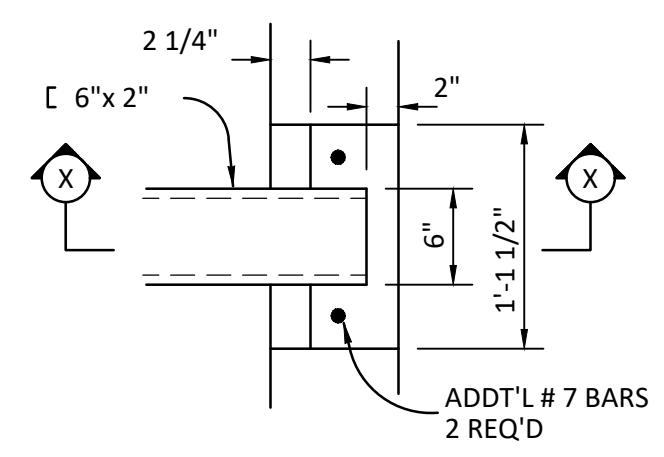
RECORD DATA PROVIDED BY
GEOPOINT SURVEYING, INC.

RECORD DRAWING LEGEND

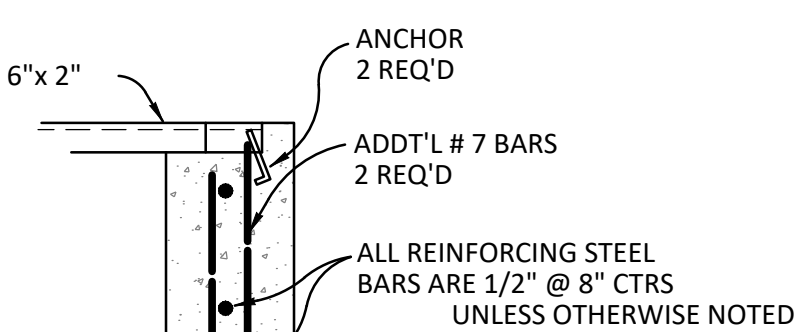
- 42.00 PROPOSED/DESIGN ELEVATION OR DIMENSION LINED THROUGH, "RECORD" ELEVATION OR DIMENSION WRITTEN IN.
- X 54.8 INDICATES RECORD ELEVATION
- ✓ INDICATES "RECORD" ELEVATION, DIMENSION, SLOPE, et cetera.
- 200 (of 1000) INDICATES "RECORD" ITEM NUMBER
- INDICATES "RECORD" ITEM DESCRIPTION

SERENOA VILLAGES 1 & 2
1A-1 & 1A-2
"RECORD DRAWINGS"

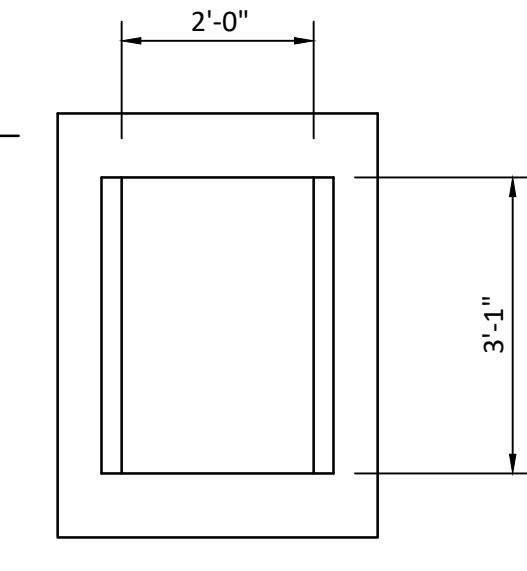
FACILITIES SHOWN HEREON HAVE BEEN, TO THE BEST OF MY KNOWLEDGE, CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH APPROVED PLANS. SPECIFICATIONS AND MODIFICATIONS FOR THIS PROJECT. VERIFICATION IS BASED ON PERIODIC CONSTRUCTION OBSERVATION AND SURVEY NOTATIONS SHOWN ON PLANS. SURVEYED DIMENSIONS AND ELEVATIONS SHOWN AS RECORD INFORMATION HAVE BEEN FIELD VERIFIED.



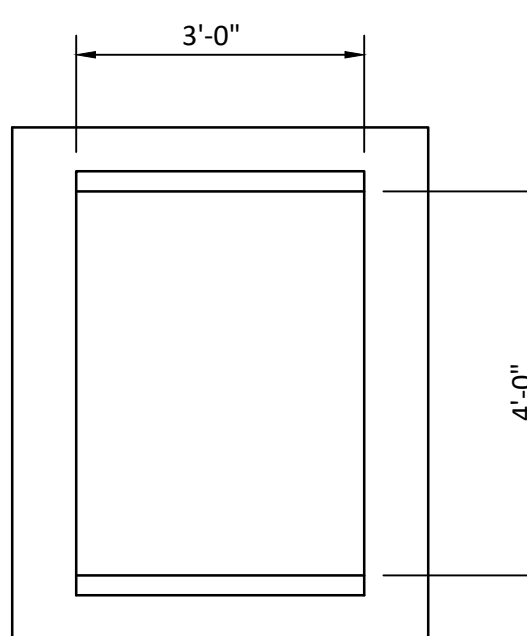
DETAIL "A"



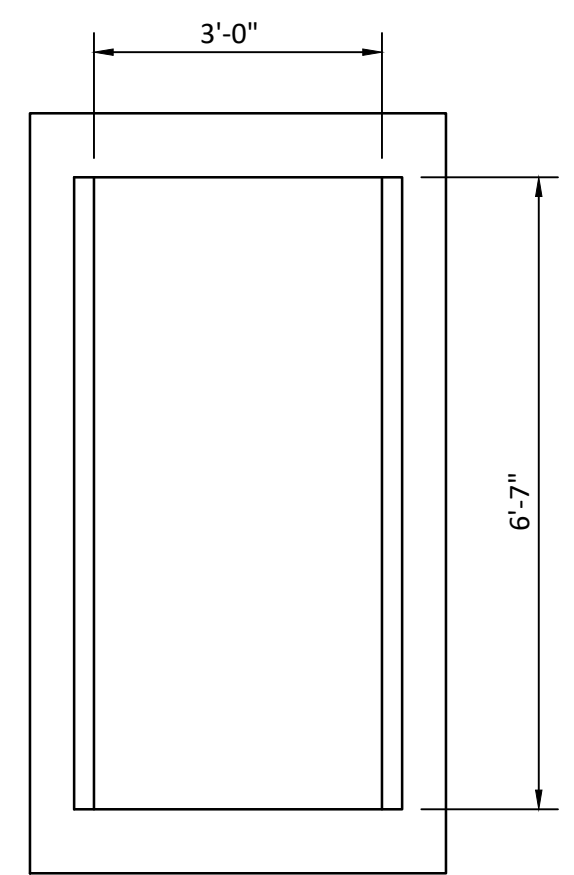
SECTION "X-X"



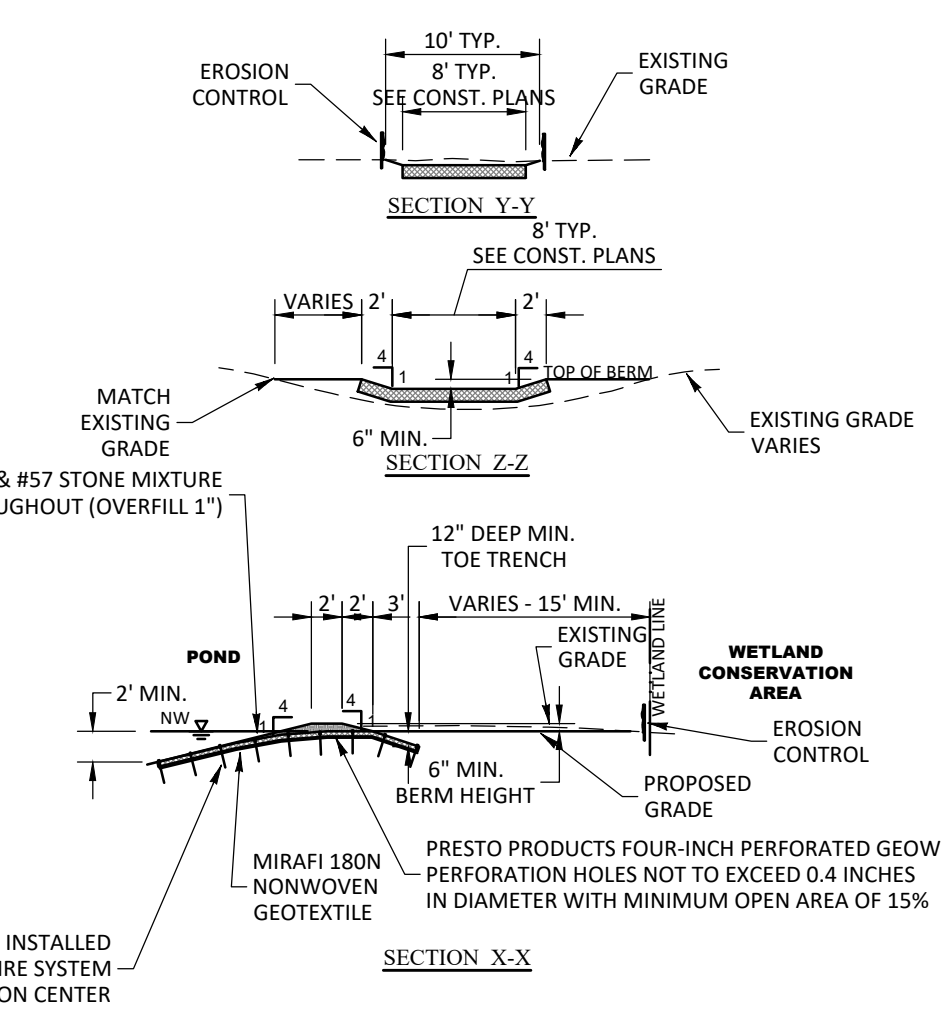
TYPE "C"



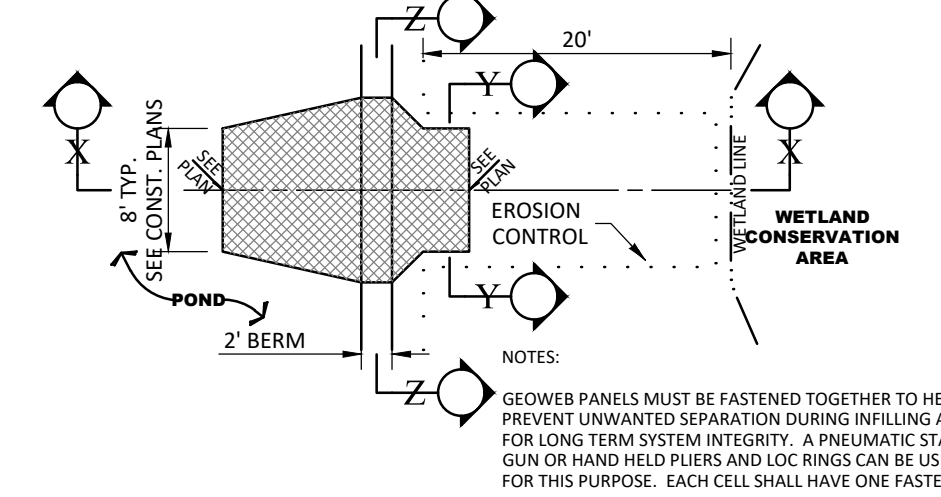
TYPE "D"



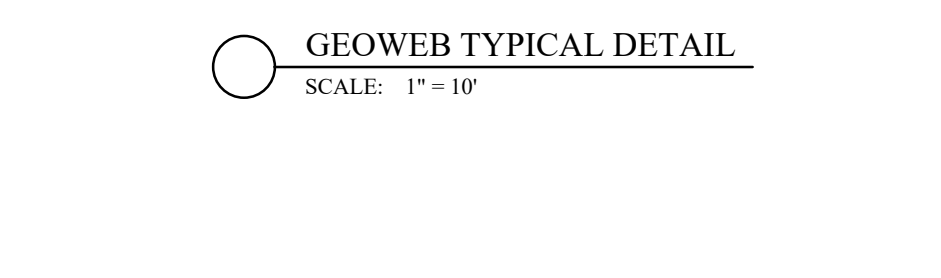
TYPE "H"



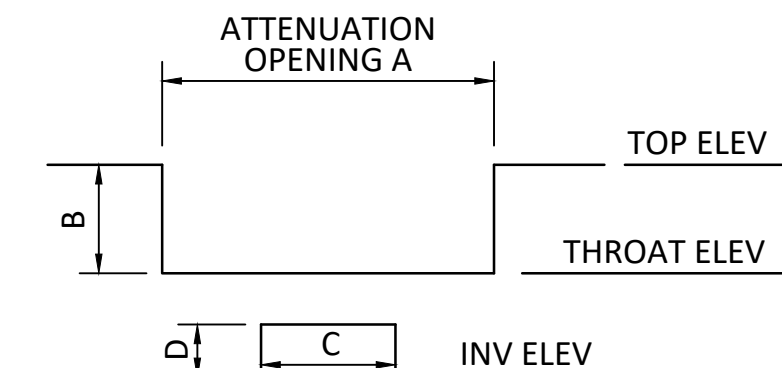
SECTION "Z-Z"



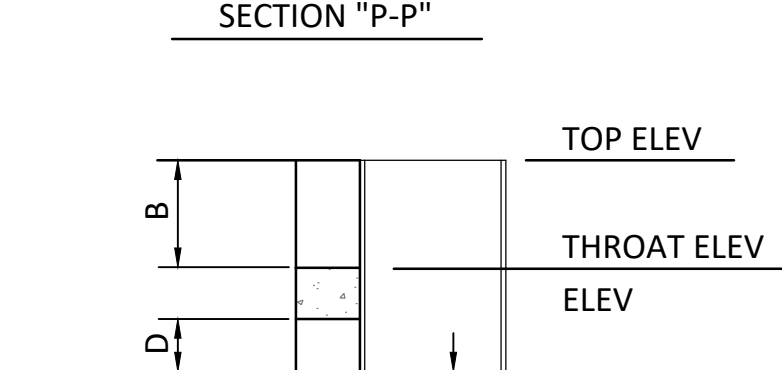
SECTION "X-X"



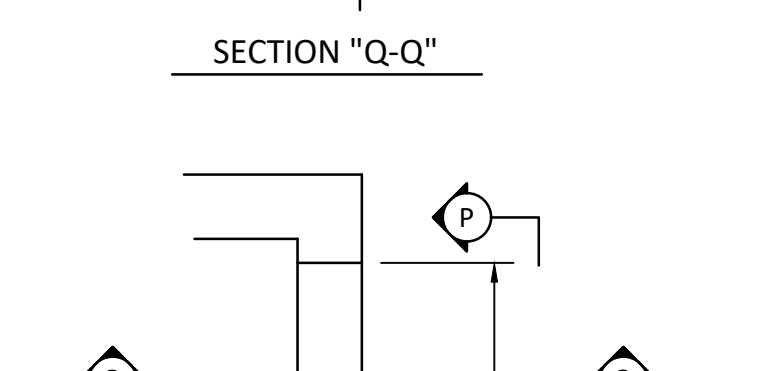
GEOWEB TYPICAL DETAIL
SCALE: 1" = 10'



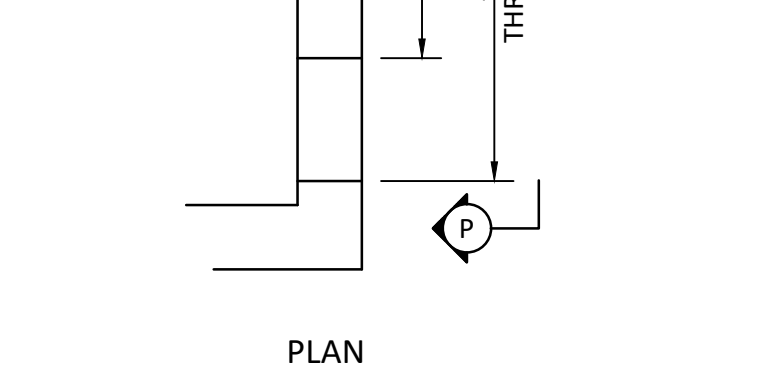
ATTENUATION OPENING A



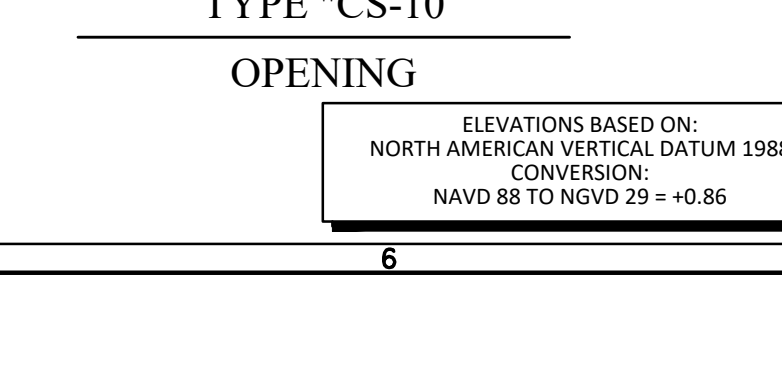
SECTION "P-P"



SECTION "Q-Q"



PLAN



TYPE "CS-10" OPENING

ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION:
NAVD 88 TO NGVD 29 = +0.86

HEIDT DESIGN
Civil Engineering • Planning & GIS
Transportation Engineering
Ecological Services • Landscape Architecture
Engineering Business Certificate of Authorization No. 28782
Landscape Architecture Certificate of Authorization No. LC30004045
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Tampa, Florida 33610
Office: 813-253-5311
Fax: 813-464-7629
www.HeidtDesign.com

SERENOA
CONTROL STRUCTURE DETAIL
PREPARED FOR:
VK AVALON GROVES, LLC

NO.	DATE	DESCRIPTION
1	05/28/2020	SERENOA RECORD SUBMITTAL
2	04/02/2020	ADDED RECORD INFORMATION
3	02/24/2017	COUNTY SUBMITTAL COMMENTS
4	02/24/2017	SERENOA COMMENTS
5	10/20/2016	RECORD SUBMITTAL

PROJECT NO.: KLP-AG-1009
FILE: CSTR
DESIGN BY: FRANCIS
DRAWN BY: JONES
FLORIDA PROFESSIONAL ENGINEER
Timothy M. Plate, State of Florida, Professional Engineer, License No. 41153
This item has been digitally signed and sealed by Timothy M. Plate, P.E. on the date indicated here.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
GARY D. MILLER
DATE:
REGISTRATION NO. 52717

C-308

REVALON GROVES VILLAGES 7 AND 8 ENGINEERING RECORD CSTR DWG-C-308 20200528 2:28 PM ALCIA SIKES